

# Undercliffe

## Conservation Management Strategy

January 2024 | 23-378



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the art and science of place



We acknowledge the Whadjuk people of the Noongar nation as traditional owners of the land on which we live and work.

We acknowledge and respect their enduring culture, their contribution to the life of this city, and Elders, past and present.

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# 1. Introduction

## 1.1 Purpose of the CMS

A Conservation Management Strategy (CMS) is a property management tool prepared for the owner of a heritage place. It provides a practical maintenance guide to give the owner an understanding of the place's current condition and the necessary actions to be undertaken to ensure that the significance of the place is not lost or compromised.

This CMS has been prepared by **element** for Bateup Consulting on behalf of Regis Aged Care, as the owner of 22 Coongan Avenue (Undercliffe). The CMS presents an understanding of priority works in the context of the cultural heritage significance of the place, with a view to arresting deterioration and facilitating future reoccupation of the property by the owner. The property has been vacant for an extensive period of time and this report aims to assist in identifying the urgent works items that must be carried out to stabilise the building and prevent accelerated deterioration while future reuse opportunities are developed.

This report notes the condition of general elements and areas of the building as identifiable by visual inspection. Where the condition of the building fabric is described, this refers to the condition of significant architectural elements that can be ascertained by visual inspection. It is not a statement of structural condition other than where specialist engineering advice has been provided by Acor Consultants as included at Appendix B. It is in no way a certification of the inspected structure to the requirements of any Acts or regulations. It is a reasonable attempt to identify any significant defects apparent at the time of inspection which does not include areas that are concealed or obstructed.

## 1.2 Subject Site

Undercliffe sits within the centre of Lot 9, 22 Coongan Avenue Greenmount within the municipality of the Shire of Mundaring. The lot encompasses an area of around 2.7 hectares between Great Eastern Highway and the green space reserve to the south of the property. Other surrounding lots are primarily residential in nature. The site formerly served as a private hospital known as 'Undercliffe Hospital' but in recent years has operated solely as an aged care facility operated by Regis.

The primary building subject to this review is a single-story former residential rendered masonry structure known as Undercliffe or the 'Pink House' (Place Number 08547). Several mature plantings found on the site are also recognised by the heritage place listing as being of significance, but the treatment of these elements is not considered as part of this report.

*Refer to Figure 1 – Location Plan (MNG with **element** overlay)*

## 1.3 Description of the place

Undercliffe is located in the Perth foothills east of Midland along the Great Eastern Highway, within the municipality of the Shire of Mundaring. It is bounded by residential lots to the north, east and west, and the former rail line now reserved for parks and recreation to the south.

The site is heavily sloping with primary access from Coongan Avenue at the south-east corner, while secondary service access to Great Eastern Highway is also present to the north-west. The subject building is surrounded by multi-storey aged care facilities to the direct north and east, all of which were developed subsequent to the original Undercliffe house. The western portion of the lot is subject to potential subdivision, with a dividing boundary fence currently in place, running the length of the lot and bisecting it into two halves. Undercliffe addresses the south of the lot with an open grassed area and several mature trees, some of which have also been identified having heritage significance, providing an open and picturesque setting to the house.

A detailed description of the place has been provided in Section 2.2 of this report.



Figure 1. Location Plan (MNG with element overlay)

## 1.4 Statement of Significance

The following Statement of Significance has been taken from the Place Record for the site, prepared by Bruce Callow & Associates Pty Ltd in 1995 as part of the then Municipal Inventory review (no Local Heritage Survey).

*'Undercliffe' House has very high aesthetic, social and historic significance for the community as an example of a large, early residence in the area; its associations with prominent people active in the development of the district; and for its role in providing hospital/nursing care in the region for a substantial part of its existence.*

A recommendation of this review was that the subject site also be considered for State Registration, however subsequent nomination, and assessment in 2004 deemed the property below threshold for state listing.

The building has been included on the Shire of Mundaring's Heritage List and attributed a Management Category of 2 which requires the following considerations:

*High degree of integrity/ authenticity; very important to the heritage of the locality Expectations: Conservation of the place is highly desirable. Any alterations or extensions should minimise impacts on the original site or building and reinforce the significance of the place.*

The following place specific recommendations were also provided as part of the place record review in 1995:

*'Undercliffe' House requires the highest level of protection under the Municipal Inventory and the owners be provided with the maximum encouragement to conserve the significance of the place. The owners are to be commended for finding a compatible use for the place and not resorting to a pragmatic demolition option. Future alterations and adaptations should attempt, wherever possible, to re-establish the integrity and fabric of the original residence.*

## 1.5 Current Heritage Listings

Places of cultural heritage value in Western Australia are identified through a range of different heritage listings. Some of these listings give statutory protection to heritage places, through requirements for heritage related approvals or referrals. Other listings are unofficial or quasi-official designations, often arising from local, community-based or thematic surveys.

Undercliffe, Greenmount is recognised as a place of cultural heritage significance on the following heritage lists:

### 1.5.1 Historic Heritage

#### Statutory listings

Type	Responsible Organisation	Relevant Legislation
Shire of Mundaring Heritage List, Shire of Mundaring	Shire of Mundaring	Planning and Development Act (2005) Shire of Mundaring Local Planning Scheme 4 (LPS4)

#### Other listings and Surveys

Type	Responsible Organisation	Relevant Legislation
Shire of Mundaring Municipal Heritage Inventory	Shire of Mundaring	Mandated under the Heritage Act (2018) however controlled by the Shire of Mundaring.

### 1.5.2 Aboriginal Heritage

The Aboriginal Cultural Heritage Inquiry System (ACHIS) identifies the following registered sites within the subject lot boundary. Both sites relate to waterways and associated floodplains in the surrounding area.

Name	ACHIS Ref	Type
Helena River	3758	Registered Site (Ritual / Ceremonial; Creation / Dreaming Narrative; Repository / Storage Place)
Blackadder & Woodbridge Creek	3720	Registered Site (Creation / Dreaming Narrative)

## 1.6 Acknowledgements

The following reports and studies were utilised to provide background information to this report:

- Bruce Callow & Associates on behalf of the Shire of Mundaring, Undercliffe Place Record, 1995
- **element** (operating as the Town Planning Group), Heritage Impact Statement for Cypress Gardens, 2015
- **element** (operating as the Town Planning Group), Greenmount Gardens Nursing Centre Development Application, 2007
- Shape, Building Condition Report, 2021

The guiding documents for methodology and process are as follows:

- Australia ICOMOS Burra Charter, 2013. <https://australia.icomos.org/wp-content/uploads/The-Burra-Charter-2013-Adopted-31.10.2013.pdf>
- 'An Information Guide to Conservation Management Strategy,' Heritage Council of Western Australia, 2019

Special thanks are extended to the following personnel for their assistance in preparing this report:

- Ray Gurney, Project Manager, Bateup Consulting
- Darren Lowden, Facilities and Maintenance Officer, Regis Aged Care





## 2. Background Information

### 2.1 Brief History

The following history, indicated in italics, has been reproduced in its entirety from the Place Record for the place, prepared in 1995. Supplementary research has been undertaken by **element** to substantiate components of this earlier history and to provide recent historical context to the property.

*Some anecdotal evidence suggests that sometime before he died in 1901, Edmund Gilyard Lacey may have built 'Undercliffe', although Percy Ford Robinson's initials are incorporated in the stained glass around the entry door. In 1880, at the age of 37, E.G. Lacey came to Western Australia after a successful career in the Eastern States and set up the Enterprise Sawmill at Mahogany Creek and later at Sawyers Valley (Site 153). Sawn timber from Lacey's mill supplied his timber yards at Perth, Fremantle, York and later, Guildford.*

*Whilst his business interests were extensive, he is recorded as having recovered from bankruptcy in 1888, to the extent that by 1897, he had acquired land south of the York Road (Great Eastern Highway) and near what is now Wortley Road. Here he operated a brickworks and granite quarry until his death in 1901. It has been suggested that the bricks used to build Undercliffe came from Lacey's nearby brick yard. In 1995, part of Lacey's former quarry and brickworks (most of which had been filled) was utilized to build a truck arrester bed off Great Eastern Highway.*

*In 1902, the house (or land?) was purchased by 36-year-old Percy Ford Robinson, who had married E.G. Lacey's daughter Clara in January of that year. Like his uncle, Edward Robinson of nearby 'Belle View' (Site 213), Percy had extensive north-west pastoral interests including Coongan Station near Roebourne. Both men were active in lobbying for the abattoir which was eventually built at Midland in 1914. Again, like his uncle, Percy Robinson was involved in local government. He was a member of the Greenmount Road Board from 1906 to 1909, and simultaneously Mayor of Midland Junction from 1907 to 1911. He unsuccessfully stood as a 'Liberal' candidate for the state seat of Guildford. In 1910, he became the owner of the Cardup Brick Company and about this time he became the inaugural President of the Midland Guildford Cricket Club.*

*Undercliffe's grounds and garden not only caused interest to train travellers on the nearby Eastern Railway, but were featured in the May 1917 edition of the Motorist & Wheelman magazine. A Moreton Bay fig tree in the grounds is said to be over 100 years old.*

*During the depression, Undercliffe was vacated by the Robinsons and used as a parish poor-house. In 1937, the house was donated to Rev. Bell, the rector of Christ Church Claremont from 1932-1943, for the continuing use by the poor. During World War II, Undercliffe housed convalescing soldiers. In February 1953, after some 8 years of trying, Undercliffe was recognized as a "C" Class nursing home. Its first 10 patients were from the former sanatorium at Wooroloo (site 194). In 1964, the license was extended to 18 beds, and further increased in October 1971, to 20 beds. Over the years, some of the property was subdivided by the Rev. Bell, to provide additional funds and after the nursing home was taken over he remained as a resident/patient until his death.*

*The property was purchased by the Miles family in 1979, following which upgrading of facilities began. Re-development of the site commenced in October 1980, with the addition of a 42 bed general hospital which was finished in October and opened in November 1981. May 1981 also saw commencement of the new nursing home or geriatric wing. During the mid 1980's a maternity section was opened on the site to complete the overall hospital facilities. Restoration of the original 'Undercliffe' residence was then undertaken to provide specialist consultants rooms for the complex.*

In 2000, the property was transferred to the Moran Health Care Group (Victoria) Pty Ltd. In 2005, Retirement Care Australia (Greenmount Gardens) Pty Ltd (now Regis Aged Care) purchased the property. In 2008 **element** (operating as the Town Planning Group), assisted the owners in seeking development approval for several new wings and additions to the former hospital site. This was followed by several supplementary proposals to facilitate the ongoing use of the site as an aged care facility. Undercliffe House is currently vacant and is understood to have remained this way for an extended period. In 2013, Regis commenced upgrading the property with the construction of new facilities including a significant

addition to the eastern wing. This construction was followed with demolition of the former western wing c.2015. The property has operated largely in the same manner since this time with some clearing occurring to the western half of the lot for potential future subdivision and redevelopment.

Subsequent investigations into the construction timeline for Undercliffe House have yielded the following results:

- An obituary notice from 1901 provides confirmation that the house was originally the residence of Edmund Gilyard Lacey.<sup>1</sup> Probate documents from the estate of Edmund Lacey detail Undercliffe House as part of the “estate and effects” designated for sale and further distribution to the trustees, James Gill, Robert Thompson, and Lacey’s daughters Clara, Elizabeth, and Mary Ann.<sup>2</sup>
- The Place record for Undercliffe House details that Clara married Percy Ford Robinson in January 1902.<sup>3</sup> No registration of the sale of Undercliffe House has been located, though the advertised distribution of assets from the deceased estate of E G Lacey is also advertised in January 1902.<sup>4</sup> Clara Lacey was recorded as one of the trustees of the estate.
- The official use of Undercliffe House as a Convalescent Depot/Home during World War II is not confirmed with the Australian War Memorial, or the Virtual War Memorial sites. The National Archives has no building plans, site plans, or military records pertaining to Undercliffe House during WWII.
- Investigations through the State Records Office of Western Australia have revealed no building plans or site plans, or construction plans for Undercliffe House as a hospital, or as a nursing home.

Historical aerals provide a general understanding of the site’s development from the early 1950’s through to today but reveal little about any extent of physical change to the subject place itself. Aerial imagery identifying key development points during this period have been included below.



**P. F. Robinson’s home, ‘Undercliffe’, at Greenmount from *The Motorist and Wheelman*, 20th May 1917.**

Figure 2. Photograph of ‘Undercliffe’ in 1917 (reproduced in *Mundaring: A History of the Shire*, Ian Elliot, 1983)

1 Western Mail (Perth, WA : 1885 - 1954), Saturday 28 September 1901, page 20.

2 West Australian (Perth, WA : 1879 - 1954), Thursday 24 October 1901, page 4

3 Shire of Mundaring Local Heritage Survey, <https://www.mundaring.wa.gov.au/documents/426/local-heritage-survey>

4 West Australian (Perth, WA : 1879 - 1954), Saturday 25 January 1902, page 2 (7)





Figure 3. Undercliffe Nursing Home, Coongan Avenue, Greenmount, March 1986 (Source: State Library of Western Australia, taken by Betty Smith, BA1530/6255)



Figure 4. The subject house and its garden surrounds in situ prior to development of the surrounding medical facilities. (Source: MNG, November 1953)





Figure 5. The subject house and its garden surrounds in situ prior to development of the surrounding medical facilities, some ancillary structures are noted to the rear garden. (Source: MNG, March 1965)



Figure 6. The subject house and its garden surrounds in situ prior to development of the surrounding medical facilities, some ancillary structures are noted to the rear garden. (Source: MNG, September 1979)





Figure 7. The northern wing has been completed and the former western wing is under construction around the subject house. (Source: MNG, August 1981)



Figure 8. The northern wing and the former western wings have both been completed around the subject house. (Source: MNG, May 1985)





Figure 10. The eastern wing has been constructed adjacent to the subject house. (Source: MNG, February 1995)



Figure 9. Minimal change appears to have occurred since 1995. (Source: MNG, February 2011)





Figure 11. Construction of the new eastern wing addition is underway. (Source: MNG, February 2012)



Figure 12. Additions to the eastern wing have been completed and the western wing has been demolished. (Source: MNG, August 2016)





Figure 13. Most recent aerial capture demonstrating the site largely in its current arrangement (Source: MNG, February 2021)

Documentation from 2015 notes the property being utilised for medical and administration purposes at this time and it is understood that this remained its most recent function up until its current vacancy, however the exact date of its closure is unknown at this time. While these supplementary details have assisted with an understanding of the ownership and likely periods of change, it has not yielded any documentary data which pinpoints exact periods of physical change to the heritage building. As such, this report has primarily relied upon inspection of the physical fabric to determine elements of significance and sensitivity to future works.

## 2.2 Physical Description

The physical evidence has been prepared by **element** incorporating evidence recorded for earlier assessments, impact statements and condition reviews by various parties. The following text describes the place as observed in November 2023 during the condition inspection undertaken in conjunction with Acor Consultants who have provided structural input to this report.

A general summary of the external and internal condition of the property is provided below, however this is not a statement of structural condition. It is a reasonable attempt to identify any significant defects apparent at the time of the inspection which does not include areas that are concealed or obstructed. A supplementary summary of structural condition is subsequently provided by Acor Consultants at section 4.2. The condition of Undercliffe House is generally fair to poor and significant deterioration was found of both a structural and general deteriorative nature. This deterioration is increasing and presents a number of safety risks when accessing the site. Areas of notable risk include the south-west corner of the entry verandah where the timber boarding and structure has significantly decayed. Extensive bird infestation has also limited safe access to the roof space and is likely to result in localised ceiling collapse in the future if not dealt with in a timely manner. Fabric condition, risk to future occupants and accelerated decay of significant fabric have all been considered as key factors when determining the recommended prioritisation of conservation works for the property. For a full description of condition, refer to the Building Condition Assessment Report at Appendix A



## 2.2.1 Description of the Fabric

Undercliffe sits on an elevated site looking south over the former railway reserve and towards the Helena Valley. The large site originally had extensive gardens which now accommodate two major nursing home buildings to the north and the east of the original house. Gardens remain in the spaces between buildings, together with some significant trees from the original gardens. These include an enormous Moreton Bay Fig (*Ficus Macrophylla*) behind the house and, at the front, a rare Southern Cypress (*Taxodium Distichum*). Also at the front of the heritage house is a Norfolk Island Pine (*Araucaria Heterophylla*) and several old Date Palms (*Phoenix Dactylifera*). Extensive lawns also add to the setting of the site. Undercliffe, is located roughly in the centre of the Lot with the surrounding later wings overlooking and generally orientating towards the heritage building as a central feature of the site. Access to the site is via Coongan Avenue to the south-west with the road wrapping around the heritage property, and positioning it as a key entry statement to the aged care facility.

### External

Undercliffe House is a Federation era, single storey brick and iron former residential property. While some sense of the garden setting remains, the external presentation has been largely altered by the construction of later surrounding built form. The house presents an asymmetric primary frontage to the south containing an original central form which is symmetrically designed around a centrally located entry door and circulation corridor, and a western wing which is connected at the front with an open vestibule from the veranda. The western wing is understood to be a later, though early addition to the main house, and does not appear to be extant in archival imagery from 1917 (refer to figure 2). The roof form reflects this asymmetrical design with three gable ends presenting to the southern elevation.

The house is constructed on a sloping site with access to the rear being on grade, while the main front entry is accessed by a formal staircase. This staircase has sweeping masonry balustrades to each edge leading to a timber framed verandah. The verandah includes a feature entry portico and decking which runs the full length of the southern elevation and wraps partially around the exterior to the east. The original verandas, across the front of the house, had previously been extended and enclosed with asbestos sheeting to provide additional accommodation. These were removed by the previous landowners who restored the verandas and interiors to give the building an ongoing life as specialist consulting rooms for the hospital. All external facades of the building have been fully rendered and painted pink with white painted joinery to the doors, windows and verandah columns and balustrading. The front (south) elevation features three sets of feature triple sash windows with highlight transoms above to each of the projecting bays. The main timber pannelled entry door is surrounded by feature leadlighting to the side and highlight windows. The highlight incorporates "Undercliffe" into its design and the side panels contain the initials of Percy Ford Robinson plus an acknowledgement to Barnett Bros. as the supplier.

The west and north elevations are generally utilitarian in their design with simple openings and surface treatments. A covered walkway has been connected to the verandah at the rear (north) of the property understood to be a later addition along with the paving treatments and general landscaping elements. The north elevation has been heavily altered with the addition of bathroom facilities along the northern face of the building, and a two room addition to the north-east. The exact date of construction for these elements is unknown however their simple detailing and form suggests they are of a much later construction date than the central built form.

The eastern elevation faces a small remnant area of landscaping and the new eastern nursing wing. Another feature triple bay window is located to this facade along with the verandah return which provides additional external access from the side of the house.



Figure 14. View of Undercliffe primary frontage from adjacent wing (element, 2023)



Figure 15. Stair to main entry (element, 2023)





Figure 16. Portion of the central and the western wing viewed from the south (element, 2023)



Figure 17. Covered vestibule connecting the central and western wings of the house (element, 2023)





Figure 18. Western elevation (element, 2023)



Figure 19. Northern elevation and covered walkway (element, 2023)





Figure 20. Covered walkway to rear entry door (element, 2023)



Figure 21. Northern covered verandah (element, 2023)



Figure 22. Wrap around portion of verandah to eastern facade (element, 2023)



## Internal

The front entrance opens on to a central corridor which runs the length of the house. A lightweight stud wall has been added to the east of the entry way, extending the corridor through what would otherwise form the primary reception room facing south to the eastern lawned setting. To the western side of the corridor a secondary reception room is found also addressing the south, however secondary outlook is also provided to the verandah vestibule and western extension beyond. Both rooms contain projecting bays with triple sash windows and highlight transoms above, fireplaces, and ornate plaster glass ceilings. Decorative moulding motifs suggest that these ceilings may have seen some circa 1930's alterations, however without clear access to the internal roof space it is difficult to ascertain the likely extent of these changes.

Rooms continue to be laid out along the central corridor with two more found to both the eastern and western sides of the hallway. Most of these spaces have seen a relatively extensive level of change to fixtures and finishes to suit later use as consulting rooms. While structural components such as fireplaces remain they have been boarded up internally and replacement flat plasterboard ceilings installed to all rear rooms other than one to the northeast. This room also contains a projecting bay window to the east with triple sash windows and highlight transoms above to match the southern reception rooms. Walls to all central corridor rooms are painted a light green.

With access via either the verandah vestibule, rear double entry doors or internally via the north west room off the central corridor, the western wing sits relatively separate to the central portion of the house. It consists of two rooms with central fireplaces between them. These rooms contain pressed metal ceilings believed to be original and another set of triple sash windows with highlight transoms fronting the southern outlook. Walls to all western wing rooms are painted in shades of purple.

Later extensions have been added along the northern facade including male and female bathrooms, a kitchen area and a two-room extension which can only be accessed externally from the main house to the north east. All of these spaces feature later detailing and fitouts including flat plaster ceilings and simple cornices and skirtings where extant. Fireplaces are also found to all but the bathrooms. Walls to these spaces are painted a mix of light green, and neutral beiges.

Several corbelled arches survive along with original fireplace surrounds, deep skirtings, and architraves throughout the earlier portions of the house. Carpets have been added over timber floors throughout other than to two rooms which have later linoleum coverings. Lighting fixtures are new throughout however some early hardware remains extant to doors and windows.



Figure 23. Looking south down central corridor through feature archway towards entry door (element, 2023)



Figure 24. Projecting bay and feature windows to southern elevation (element, 2023)



Figure 25. Moulded ceilings and fireplace to northeast room (element, 2023)





Figure 26. Projecting bay window and feature arch to northeast room (element, 2023)



Figure 27. Pressed metal ceilings and fireplace to western wing (element, 2023)



Figure 28. Retained fireplace surrounds and later floor finishes (element, 2023)



Figure 29. Later fitout to rear kitchen extension (element, 2023)





Figure 30. Later two room extension to north east (element, 2023)





### 3. Graded Zones and Elements of Significance

The following figures present the zones, sections and elements of the place that have varying degrees of significance. The purpose of this section is to identify the place's significant spaces and component elements. The elements are considered within their historical and physical context and in relation to the significance of the place as a whole. This assists in making decisions about the appropriate care and management of the place.

#### 3.1 Overall Significance of the Place

A five-tier grading system is used to identify the level of significance of the place as a whole. In general, the higher the level of significance of the place, the greater the care needs to be taken in determining actions which may affect its heritage values.

- **exceptional significance** - would warrant consideration for entry on State and/or National heritage lists. Fabric that is of exceptional significance has a very high sensitivity to change and conservation is essential
- **considerable significance** - would warrant consideration for inclusion on the Heritage Council's (WA) Register of Heritage Places or the City's local heritage list. Fabric that is of considerable significance has a high sensitivity to change and conservation is essential.
- **some significance** - are at the threshold for entry onto the Heritage Council's (WA) Register of Heritage Places or the City's local heritage list. These areas are important in terms of the property's history, and should be conserved if the property is to retain its meaning and significance; conservation is recommended but adaptation to suit modern requirements is acceptable if undertaken in a sensitive manner that considers the buildings cultural heritage value holistically.
- **little significance** - below threshold for any heritage list (neither contributes nor detracts to the significance of the place). The zone or elements neither contribute to nor detracts from the significance of the place. Sensitivity to change is low. Items of little significance tend to be non-original and their value to the place ranges from neutral to moderately intrusive. Where necessary, they can be altered for adaptive reuse; conservation is optional.
- **Intrusive** - items are those, which, in their present form, have an adverse effect upon the significance of the property. These elements should be removed when the opportunity arises, or when the element is no longer required, unless their removal is identified as an urgent matter.

Given the existing heritage listing pertinent to the place and extent of its associated heritage values, degree of integrity and authenticity, Undercliffe House generally has considerable to some level of cultural heritage significance.

#### 3.2 Zones and Elements of Significance

In addition to the above, a similar tiered grading system is used to identify the various zones and component elements of Undercliffe House. In general, the more significant the zone or element is, the greater the care needs to be taken in determining actions which may impact its overall significance.

Refer to Drawings SK01 and SK02 for illustration of the Zones and Elements of significance.

##### 3.2.1 Exceptional Significance

###### Zones of Exceptional Significance

- No zones of exceptional significance

###### Elements of Exceptional Significance

- No elements of exceptional significance

### 3.2.2 Considerable Significance

#### Zones of Considerable Significance

- The overall form and arrangement of the primary house and western wing including roof form and internal composition of spaces prior to consulting room adaptations

#### Elements of Considerable Significance

- All original fabric
- Frontage to southern entry including position, setback and setting, general form including projecting gable ends, feature windows and doors, entry stairs, form of reconstructed raised verandah
- Chimneys and roof structure
- Hierarchy of internal spaces including reception rooms to southern and eastern frontages and functional spaces to rear
- Walls and structural form to main house and western wing including southern low level retaining walls
- Pressed metal and moulded plaster ceilings including ceiling mouldings and cornices
- All original access points and openings including door and window fabric and associated original hardware
- Timber floors throughout
- Fireplaces, hearths and original mantle surrounds
- Timber detailing including skirtings and architraves
- Significant mature plantings

#### Zones of Some Significance

- Later two room addition to the northeast of the house
- Front garden design

#### Elements of Some Significance

- All fabric associated with later two room addition to the northeast of the house
- Later reconstruction based on original arrangements including the southern verandah (noting its form is of considerable significance)
- Plantings to garden surrounds other than where they have been noted as significant mature plantings in their own right

#### Zones of Little Significance

- External rendering and paint finishes throughout (to be confirmed via paint scrape analysis)
- Rear bathroom and kitchen extension
- Northern landscaping and hardscaping including extension of covered walkway

#### Elements of Little Significance

- Bathroom and kitchen fitouts throughout
- Later roof covering material and rainwater goods, however form is considerable
- Floor coverings including carpets and linoleum
- Internal stud wall
- Lighting fixtures and electrical upgrades
- Northern covered walkway and paving

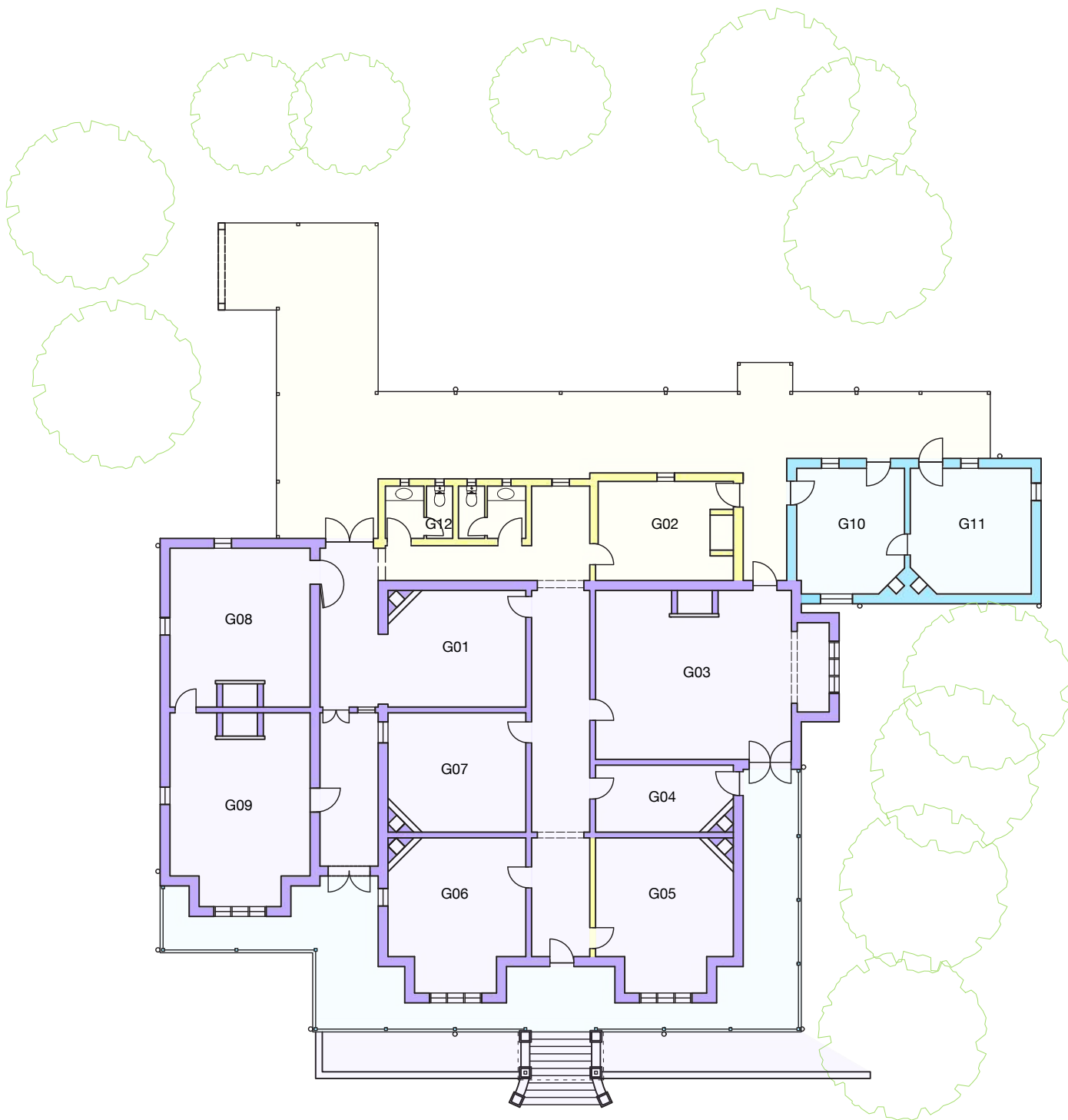
#### Intrusive Zones

- Driveway and raised parking area
- Eastern hospital wing extension

#### Intrusive Elements

- Airconditioning units
- Later sink fixtures main house and western wing



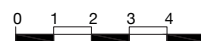


#### SIGNIFICANCE LEGEND

<span style="display: inline-block; width: 15px; height: 10px; background-color: #90EE90; border: 1px solid black;"></span>	EXCEPTIONAL
<span style="display: inline-block; width: 15px; height: 10px; background-color: #8A2BE2; border: 1px solid black;"></span>	CONSIDERABLE
<span style="display: inline-block; width: 15px; height: 10px; background-color: #ADD8E6; border: 1px solid black;"></span>	SOME
<span style="display: inline-block; width: 15px; height: 10px; background-color: #FFFF00; border: 1px solid black;"></span>	LITTLE
<span style="display: inline-block; width: 15px; height: 10px; background-color: #FF0000; border: 1px solid black;"></span>	INTRUSIVE

## SIGNIFICANCE FLOOR PLAN

1:200



UNDERCLIFFE

REGIS GREENMOUNT

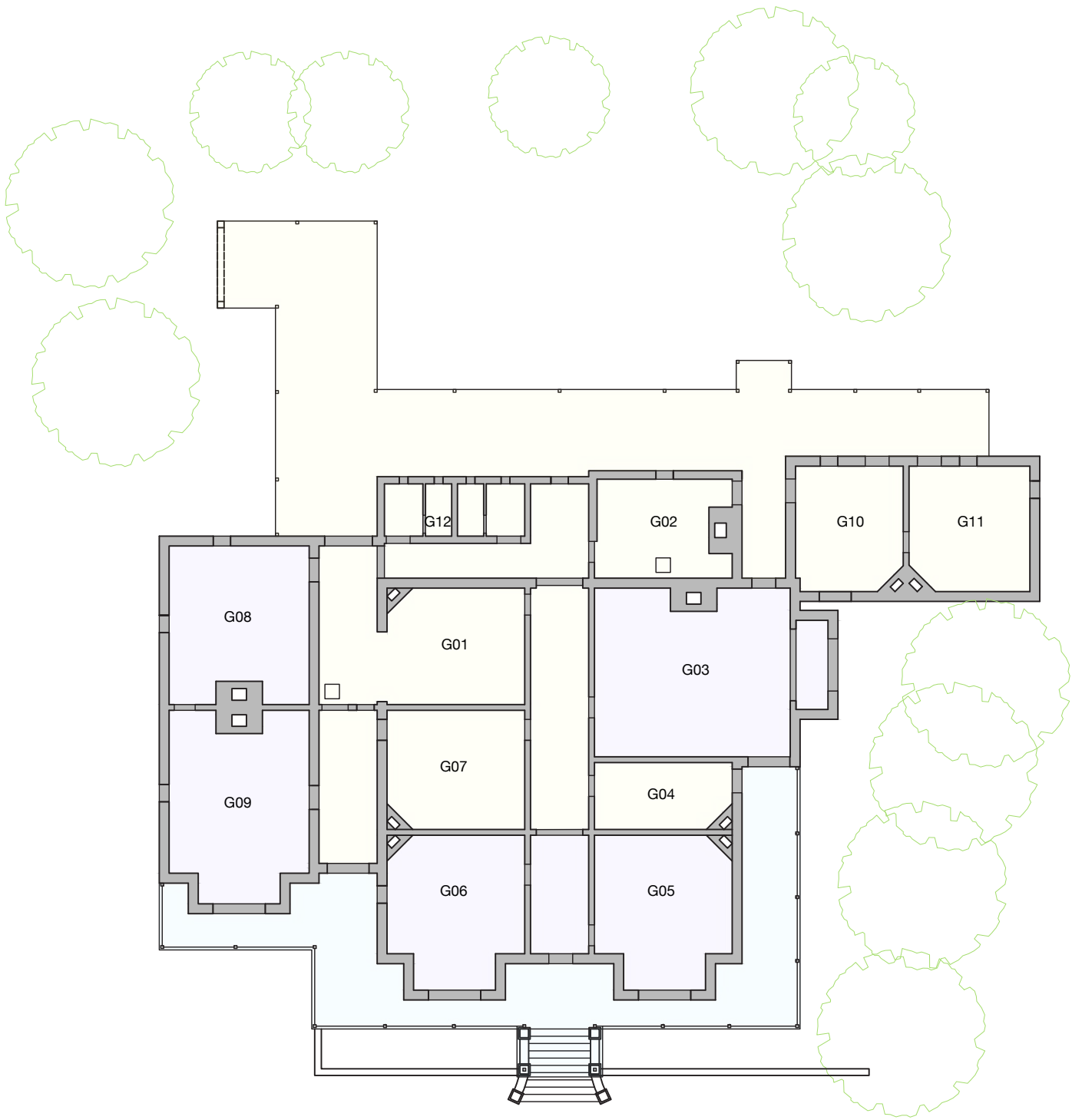
22 COONGAN AVE, GREENMOUNT

Project:	UNDERCLIFFE	Drawing No:	SK01
Drawing Title:	SIGNIFICANCE FLOOR PLAN Scale@A4:	1:200	
Date:	DECEMBER 2023	Drawn:	AP
Client:	REGIS AGED CARE PTY LTD	Checked:	AJ
Job No:	23-378	Revision:	A

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**DRAFT**



#### SIGNIFICANCE LEGEND

	EXCEPTIONAL
	CONSIDERABLE
	SOME
	LITTLE
	INTRUSIVE

## SIGNIFICANCE REFLECTED CEILING PLAN

1:200



**UNDERCLIFFE**  
**REGIS GREENMOUNT**

**22 COONGAN AVE, GREENMOUNT**

Project:	UNDERCLIFFE	Drawing No:	SK02
Drawing Title:	SIGNIFICANCE RCP	Scale@A4:	1:200
Date:	DECEMBER 2023	Drawn:	AP
Client:	REGIS AGED CARE PTY LTD	Checked:	AJ
Job No:	23-378	Revision:	A

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## 4. Conservation Works and Maintenance Schedules

The recommended conservation works have been produced using the condition rating codes outlined in the HCWA publication 'Information Guide to Conservation Management Strategy'.

The condition rating codes are as follows:

Priority Rating	Status	Definition of Rating
1	Immediate attention	Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.
2	Urgent	Works that need to be addressed between 1-2 years to prevent serious deterioration.
3	Medium Term	Works likely to require rectification within 3 years.
4	Long Term	Works that can be safely and economically deferred beyond 3 years.
5	Desirable Works	Works that are not necessary to the ongoing retention of the condition of the place
M	Maintenance	Ongoing maintenance item

Rating	Status	Definition of Rating
A	Excellent	<ul style="list-style-type: none"> <li>No defects.</li> <li>As new condition and appearance.</li> </ul>
B	Good	<ul style="list-style-type: none"> <li>Minor deterioration.</li> <li>Superficial wear and tear.</li> <li>Major maintenance not required</li> </ul>
C	Fair	<ul style="list-style-type: none"> <li>Damaged.</li> <li>Worn finishes require maintenance.</li> <li>Services are functional but need attention.</li> </ul>
D	Poor	<ul style="list-style-type: none"> <li>Failed but retrievable.</li> <li>Badly deteriorated.</li> <li>Potential structural problems.</li> </ul>
E	Very Poor	<ul style="list-style-type: none"> <li>Failed and not retrievable.</li> <li>Not operational.</li> <li>Unfit for occupancy or normal use.</li> </ul>

### 4.1 Summary of Condition

Generally, Undercliffe House is in a fair to poor condition having been vacant and without active maintenance for an extended period of time. Several issues were noted which are likely to result in significantly accelerated decay, and a continuous and targeted program of remedial work is required in order to bring the property up to an inhabitable state. Of most immediate concern is the requirement to address ongoing pigeon ingress and prevent further build-up of detritus within the roof space to prevent ceiling collapse. Further structural investigation of foundations and a likely program of targeted injection to stabilise footing movement is also recommended followed by crack stitching and masonry repairs. Refer also to section 4.2. Repairs to rainwater goods and stormwater management upgrades are also recommended to arrest ongoing fabric deterioration. Inspection by specialist plumbing and termite contractors are also recommended as items of urgent priority.

The property is relatively original, aside from changes to internal arrangements, fitouts and finishes to suit later functional use. Original features form an integral part of the story of the place and every effort should be made to retain and protect them through any program of works. The rear northern spaces are generally of some to little significance, but provide significant functional benefit to the place and have a lower sensitivity to change. It is not proposed as part of this works schedule that any of these later interventions be removed. However, these spaces should be prioritised to contain higher impact functions such as wet areas and kitchens to support retention of significant fabric in other zones.

While gardens have been heavily altered from the original arrangement, some sense of setting to the house remains. It is not recommended that any additional new construction be considered within the southern setback to the house or encroach further on the remaining three facades.

## 4.2 Summary of Structural Condition

The following summary has been drawn directly from the structural report prepared by Acor Consultants and included in full at Appendix B

ACOR Consultants was engaged to undertake a high-level structural condition report for Undercliffe house located at 22 Coongan Ave, Greenmount. The purpose of the inspection was to identify structural issues which may affect the heritage conservation of the structure and provide high-level remedial methodologies that will form the basis of a detailed remediation and conservation scope of works. The scope of the inspection was limited to the elements that were visible and safely accessible at the time of inspection. No sampling, testing or invasive inspections were undertaken as part of the works.

The principal observations of the structural inspection were as follows:

- Cracking was present throughout much of the internal and external masonry walls. The cracking was generally stepped or diagonal through a masonry panel or from the corner of a window or door. Some cracks were vertical or horizontal and located at the ends of a masonry panel or at the eave level.
- Diagonal cracking can generally be attributed to soil movement, either through heave, shrinkage, or subsidence. The structure is located on clayey soil and is likely to undergo a significant amount of seasonal movement.
- Vertical cracking can be attributed to temperature variations; however, may also be caused by soil movement.
- Horizontal cracking may be caused by thermal effects or masonry creep; however, may also be caused by foundation settlement.
- There have been new developments to the site surrounding the structure; including a new two storey structure to the east of the building and a new road to the west of the structure. The construction activities may have created vibration through the soil which may have created or exacerbated cracking in the brickwork.
- Another risk from development around the existing structure is the draining of soil moisture and the alteration of soil moisture movement around the structure. Soil which may previously have been wet will have drained under the load of the new construction and affected the soil moisture around Undercliffe house. This may have created new subsidence or consolidation in the structure which led to new stress developing in the masonry walls.
- The building is also located on a slope which may create differential moisture conditions across the building during wet seasons when the soil may be saturated. The stormwater drainage system must be reviewed and revised to ensure that stormwater runoff from the roof is suitably piped away from the building to limit localised saturation close to building foundations.
- The foundations will require a survey to confirm areas most suitable for resin injection. Foundation resin injection will be needed to correct footing positions prior to the completion of masonry repairs.
- Diagonal and vertical masonry cracking has likely occurred due to foundation movement. Following the repair of the foundations and the stormwater drainage system, the masonry cracking is recommended to be repaired with Helifix bars or a similar approved masonry tie system. This is intended to protect against the reopening of cracking at existing weak points due to seasonal soil movement or soil consolidations. Horizontal cracking may be repointed as required.
- Termite damage was found on the southern decking structure. Damaged decking boards and members will require replacement.



## 4.3 Recommended Conservation Works Summary

Refer to both Appendix A and B (Building Condition Assessments) for detailed survey findings.

It is noted that no allowance has been made within the scope of works or costing breakdown in relation to the relocation, storage or disposal of the existing loose furniture and equipment currently stored within the property. It is assumed that these items will generally be retained for future use by the landowner in an alternative location prior to conservation works commencing, however time and cost considerations relating to this under taking have not been considered at this time.

### Immediate Attention

- Review roof cladding, flashings, eaves and chimneys to identify all points of pigeon ingress, repair and block access points and prevent ongoing occupation of roof spaces
- Remove pigeon droppings from all roof spaces to reduce loading to ceilings
- Following removal of pigeons and droppings, prop and restrap ornate ceilings to G-03, G-05 and G-06, bolstering with additional ceiling joist members between support points if required. Refix cornices before making good finishes like-for-like
- Refix and refinish ornate pressed metal ceilings to G-08 and G-09. Brush back areas of corrosion and make good finishes like-for-like. Allow to repaint both sides
- Survey foundations and identify areas of subsidence. Subsidence should be stabilised via resin injection in targeted locations following the detailed survey. Significant subsidence may require underpinning or the installation of new foundations. Monitor all walls for movement during works and to ensure action is corrective
- Replace corroded and missing downpipes and ensure water is directed away from the building
- Clean all gutters of organic material and replace all rusted out or deteriorated sections
- South elevation - Repair minor cracking using Helifix bars and refinish to match existing.
- South elevation - Significant cracks will require some masonry replacement. Repoint masonry with suitable mortar and refinish to match existing.
- Undertake detailed termite inspection, remove significantly deteriorated decking boards to western end of verandah to facilitate underfloor access, replace to match existing like-for-lie following repairs to rainwater drainage system
- Known plumbing leak within garden bed adjacent to the eastern edge of the heritage building. Isolate and repair plumbing issues before undertaking any repairs to damp affected areas of brickwork or internal finishes

### Urgent

- North elevation - Repair cracking using Helifix bars and refinish to match existing
- North elevation - Repair low level brickwork and pointing decay to match like-for-like
- East elevation - Repair low level brickwork and pointing decay to match like-for-like
- East elevation and G-03 internal - Clean back organic growth and repair rendered window sill to match. Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes
- South elevation - Remove loose or drummy render around corroded window lintels. Brush back paint coatings and areas of corrosion. Apply two coats of zinc rich protective coating and refinish to match like-for-like
- West elevation - Repair cracking using Helifix bars and refinish to match existing
- Undertake detailed structural inspection of all chimneys as part of roofing repairs. Clean back organic growth and repair any cracked, loose, or drummy render to match. Repoint masonry like-for-like and consider removal of paint from all face brick surfaces. Ensure all chimneys are adequately blocked to prevent water ingress
- Replace fascias and bargeboards deteriorated beyond repair to match like-for-like. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on original finishes
- Repair timber verandah columns to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match
- Retain and refinish timbers to southern decking, if any elements are found to be deteriorated beyond repair undertake like for like replacement before sanding decking timbers back to sound face and oiling
- Install rainwater sump boxes at all downpipes connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building to avoid soil saturation. Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.

- Repair internal cracking using Helifix bars where noted in structural report, repoint and refinish to match existing.
- Refix and refinish plain plasterboard ceilings and cornices to G-01, G-02, G-04, G-07, G-10, G-11 and G-12
- Remove and dispose of all carpet and linoleum floor coverings. Inspect all timber floors and underfloor areas, allowing for installation of three floor inspection hatches if required. Repair like-for-like and refinish timber floors
- Repair cracked glazing to one sash window in G-02
- Repair cracked glazing and deterioration to front entry door and feature surrounds, ensure protection during any structural works
- Install smoke alarms throughout

## Medium Term

- Replace corroded ridge flashing fixtures
- Once roof space is clear undertake further detailed inspection of all structural framing. Bolster or replace defective members like-for-like as required
- East elevation - Repair cracking using Helifix bars and refinish to match existing.
- Prepare and repaint all downpipes, with colour to match or based on original finishes
- Refix and make good soffits and eaves. Prepare and repaint, with colour to match or based on original finishes
- Make good windows to ensure watertightness. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes
- Make good doors externally and internally. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes
- Brush back corrosion to external breezeway gates, Apply two coats of zinc rich protective coating and refinish to match like-for-like
- Provide breathing strip/air drain between external wall face and any areas of hardscaping or landscaping
- Repoint and refinish low level render spalling to G-02
- Repoint minor internal cracking as identified in structural report and refinish like-for-like
- Undertake detailed electrical inspection and replace all light fittings to match
- Reinstate and refinish timber hearth surrounds to G-01
- Replace deteriorated kitchenette fitout to G-02

## Long Term

- Reposition masonry stair turn out and fix into position N10 dowel bars against existing masonry piers. Alternatively, tooth in new stair turnouts to ensure appropriate connection between masonry elements in place of apparent vertical joint.
- Excavate around in ground verandah stirrups to expose steelwork and confirm no corrosion is present to steel fixing. Repair if required
- Undertake detailed inspection of verandah structure and replace or reinforce as required
- Recast and replace missing corbel moulding to G-01
- Remove timber stud wall to G-05 and make good finishes
- Replace worn bathroom fitout to G-12

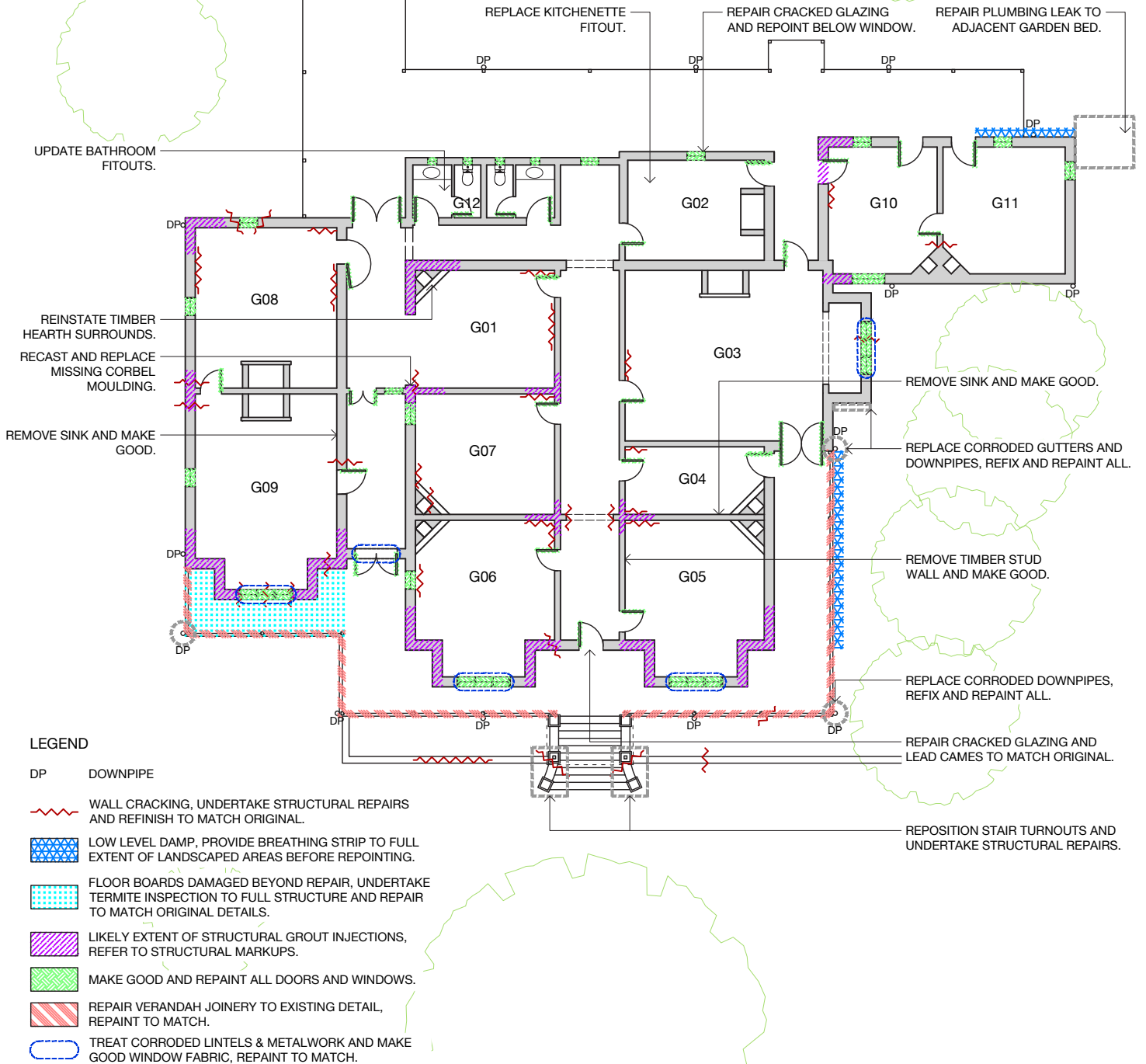
## Desirable

- Remove boarding and reinstate chimney functionality
- Remove airconditioning wall units and make good
- Remove wall sinks to G-04 and G-09 and make good
- Remove space heaters



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- UNDERTAKE A CCTV PIPE INSPECTION TO CONFIRM DRAINAGE PATHWAY AND RECTIFY BLOCKAGES & OUTFLOW LOCATIONS AS REQUIRED. INSTALL RAINWATER SUMP BOXES AT ALL DOWNPIPES CONNECTED TO A PIPED SUB-SOIL DRAINAGE SYSTEM TO ENSURE ALL ROOF RUNOFF IS TAKEN AWAY FROM THE BUILDING TO AVOID SOIL SATURATION.
- REMOVE ALL CARPET & LINOLEUM COVERING AND INSPECT TIMBER FLOOR STRUCTURE. REPAIR TO MATCH LIKE-FOR-LIKE.
- REVIEW ROOF CLADDING, FLASHINGS, EAVES AND CHIMNEYS TO IDENTIFY ALL POINTS OF PIGEON INGRESS, REPAIR AND BLOCK ACCESS POINTS AND PREVENT ONGOING OCCUPATION OF ROOF SPACES.
- CLEAN ALL GUTTERS OF ORGANIC MATERIAL AND REPLACE ALL RUSTED OUT OR DETERIORATED SECTIONS.



## LEGEND

DP DOWNPIPE

WALL CRACKING, UNDERTAKE STRUCTURAL REPAIRS AND REFINISH TO MATCH ORIGINAL.

LOW LEVEL DAMP, PROVIDE BREATHING STRIP TO FULL EXTENT OF LANDSCAPED AREAS BEFORE REPOINTING.

FLOOR BOARDS DAMAGED BEYOND REPAIR, UNDERTAKE TERMITE INSPECTION TO FULL STRUCTURE AND REPAIR TO MATCH ORIGINAL DETAILS.

LIKELY EXTENT OF STRUCTURAL GROUT INJECTIONS, REFER TO STRUCTURAL MARKUPS.

MAKE GOOD AND REPAINT ALL DOORS AND WINDOWS.

REPAIR VERANDAH JOINERY TO EXISTING DETAIL, REPAINT TO MATCH.

TREAT CORRODED LINTELS & METALWORK AND MAKE GOOD WINDOW FABRIC, REPAINT TO MATCH.

## CONDITION FLOOR PLAN

1:200

UNDERCLIFFE

REGIS GREENMOUNT

22 COONGAN AVE, GREENMOUNT

Project: UNDERCLIFFE

Drawing Title: CONDITION FLOOR PLAN

Date: DECEMBER 2023

Client: REGIS AGED CARE PTY LTD

Job No: 23-378

Drawing No: SK03

Scale@A4: 1:200

Drawn: AP

Checked: AJ

Revision: A

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- UNDERTAKE A CCTV PIPE INSPECTION TO CONFIRM DRAINAGE PATHWAY AND RECTIFY BLOCKAGES & OUTFLOW LOCATIONS AS REQUIRED. INSTALL RAINWATER SUMP BOXES AT ALL DOWNPIPES CONNECTED TO A PIPED SUB-SOIL DRAINAGE SYSTEM TO ENSURE ALL ROOF RUNOFF IS TAKEN AWAY FROM THE BUILDING TO AVOID SOIL SATURATION.
- REMOVE ALL CARPET & LINOLEUM COVERING AND INSPECT TIMBER FLOOR STRUCTURE. REPAIR TO MATCH LIKE-FOR-LIKE.
- REVIEW ROOF CLADDING, FLASHINGS, EAVES AND CHIMNEYS TO IDENTIFY ALL POINTS OF PIGEON INGRESS, REPAIR AND BLOCK ACCESS POINTS AND PREVENT ONGOING OCCUPATION OF ROOF SPACES.
- CLEAN ALL GUTTERS OF ORGANIC MATERIAL AND REPLACE ALL RUSTED OUT OR DETERIORATED SECTIONS.

INDICATIVE LOCATIONS OF CEILING ACCESS HATCHES. UNDERTAKE DETAILED ROOF STRUCTURE INSPECTION FOLLOWING PIGEON REMEDIATION.



## LEGEND

- CEILING CRACKING / CORNICE SEPARATION. REFIX AND REFINISH TO MATCH.
- RUSTING TO CEILINGS. BRUSH BACK CORROSION AND MAKE GOOD, PAINT BOTH FACES.
- CEILING DEFLECTION. REMEDIATE PIGEON INGRESS, CLEAR ROOFSpace DEBRIS, PROP AND MAKE GOOD.

## CONDITION REFLECTED CEILING PLAN

1:200



UNDERCLIFFE

REGIS GREENMOUNT

22 COONGAN AVE, GREENMOUNT

Project: UNDERCLIFFE

Drawing Title: CONDITION RCP

Date: DECEMBER 2023

Client: REGIS AGED CARE PTY LTD

Job No: 23-378

Drawing No: SK04

Scale@A4: 1:200

Drawn: AP

Checked: AJ

Revision: A

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- REMOVE ALL CARPET & LINOLEUM COVERING AND INSPECT TIMBER FLOOR STRUCTURE. REPAIR TO MATCH LIKE-FOR-LIKE.
- REVIEW ROOF CLADDING, FLASHINGS, EAVES AND CHIMNEYS TO IDENTIFY ALL POINTS OF PIGEON INGRESS, REPAIR AND BLOCK ACCESS POINTS AND PREVENT ONGOING OCCUPATION OF ROOF SPACES.
- CLEAN ALL GUTTERS OF ORGANIC MATERIAL AND REPLACE ALL RUSTED OUT OR DETERIORATED SECTIONS.

LIKELY ZONE OF PRIMARY  
PIGEON INGRESS.  
INSPECT AND REPAIR.

## LEGEND

-  UNDERTAKE DETAILED STRUCTURAL INSPECTION OF ALL CHIMNEYS AS PART OF ROOFING REPAIRS. CLEAN BACK ORGANIC GROWTH AND REPAIR ANY CRACKED, LOOSE, OR DRUMMY RENDER TO MATCH. REPOINT MASONRY TO MATCH EXISTING.
-  REPLACE FASCIAS AND BARGEBOARDS DETERIORATED BEYOND REPAIR. REFIX AND MAKE GOOD SOFFITS AND EAVES. PREPARE AND REPAINT TO MATCH LIKE-FOR-LIKE.
-  REPLACE CORRODED FLASHING FIXTURES TO MATCH.

## CONDITION ROOF PLAN

1:200



UNDERCLIFFE

REGIS GREENMOUNT

22 COONGAN AVE, GREENMOUNT

Project: UNDERCLIFFE

Drawing Title: CONDITION ROOF PLAN

Date: DECEMBER 2023

Client: REGIS AGED CARE PTY LTD

Job No: 23-378

Drawing No: SK05

Scale@A4: 1:200

Drawn: AP

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## 4.4 Recommended Maintenance Works

This schedule of maintenance works is drawn up to ensure that maintenance of the place is programmed.

Building Element	Maintenance Task	Responsibility (generally all responsibility sits with the owner with input as required)	Frequency
<b>Roofs</b>			
<b>Roof areas generally</b>	Inspect areas from the ground and note any damage to the roof cladding	Owner	After storms but generally annually
<b>Sheet metal roofs</b>	Inspect condition of panels, joints, connections and fixings. Replace roof sheets that are corroded beyond reuse with example to match original roof covering.	Contractor with specification from Heritage Architect	Annually
<b>Flashing and ridges</b>	Inspect condition of all flashing and ridges. Make repairs as required (e.g. dress back flashing and make good joints in a like for like fashion)	Heritage Architect/contractor	Annually
<b>Rainwater Disposal</b>			
<b>Rainwater goods generally</b>	Inspect rainwater goods from the ground and accessible high points and repair damage	Owner	After storms but generally annually
<b>Gutters</b>	Clear all gutters of debris and ensure they are functioning. Cover with mesh if necessary. Inspect any cracks, corrosion or sections that do not overlap and make good	Owner/ contractor	During rain is best time or annually as minimum
<b>Downpipes</b>	Clear down pipes and as necessary. Inspect downpipes for cracking and corrosion and make good.	Contractor	Annually
<b>Below ground drainage</b>	Open up for inspection at foot of downpipes. Check to ensure gullies and gratings are free twice per year from silt and debris and that stormwater discharges to main sewerage soakaway.	Contractor	Annually
<b>External Areas</b>			
<b>External Walls Generally</b>	Inspect walls from the ground and accessible high points and report any damage and signs of movement, particularly to areas where repairs have been undertaken (i.e. widening mortar joints, cracking of render or masonry units)	Owner	After storms but generally annually
<b>External walls, wall heads and parapets</b>	Inspect with high level access and identify any cracks or damage that may allow water penetration. Inspect render for cracking.	Heritage Architect/contractor	Annually
<b>Masonry Walls</b>	Masonry walls should be inspected for decayed mortar and repointed as necessary with suitable repair mortar. If salts appear on the brick face action should be taken immediately to remediate dampness and/or source of salts	Heritage contractor	Annually
<b>Render or Stucco</b>	External render or stucco should be checked for cracking and delamination from the substrate. Where cracks are over 0.3mm they should be repaired like for like.	Heritage Architect/contractor	Annually
<b>Paint</b>	Repaint the building as appropriate to the original design including verandah elements, windows and door frames and rainwater goods. Do not repaint face brick or any other areas where there is no evidence that it was painted originally	Contractor	Repaint building every 5 years or as often as required
<b>Ventilation</b>	Ensure that ventilation grilles, vents are free from obstruction	Contractor	Annually



Building Element	Maintenance Task	Responsibility (generally all responsibility sits with the owner with input as required)	Frequency
<b>Windows and glazed doors</b>	Inspect windows for damage to frames and glazing. Check to ensure they are in working condition and are wind and watertight	Owners/ contractor	Annually
<b>Doors</b>	Check all external doors to ensure they are operating in a secure and functional manner. i.e. locks, hinges and handles should all be in good order and the door should be hung correctly. Hardware can be oiled.	Owners	Bi annually
<b>Ground levels</b>	Inspect ground levels around the building and remove any build ups of soil and other pollutants that can trap moisture. Ensure any hard surfaces slope away from building and do not look to install garden beds directly against the heritage fabric	Owners/ contractor	Annually
<b>Chimneys</b>			
<b>Inspect stability</b>	Chimneys should be inspected for cracking and instability	Structural engineer/contractor	Annually
<b>Functionality of flues</b>	Even if the chimneys are not functional they should be regularly checked to ensure they are not blocked and causing dampness. If they become functional then more regular checks are required.	Chimney sweep	If used they should be swept biannually or annually checked for blockage otherwise
<b>Internal Areas</b>			
<b>Internal Spaces generally</b>	Inspect roof voids, under floors and all internal rooms and report on any water ingress, rising damp or other damage. Clean regularly.	Owners	Monthly
<b>Internal structure and fabric</b>	Inspect internal structure and fabric including roof timbers and floor joists, wall, floor and ceiling finishes including timber architraves and skirtings. Report on any fungal growth, dampness, insect damage or cracking.	Owners	Annually
<b>Staircases</b>	Check stairs for damage or uneven treads and repair as needed.	Owners	Annually
<b>Floors</b>	Clean historic floors and maintain breathable historic finishes i.e. natural oils and bees wax. Avoid applying polyurethane finishes except in very high traffic areas.	Owners	Weekly
<b>Building Services</b>			
<b>Electrical</b>	Check defective bulbs and fuses and attend to minor faults. For switch boards and wiring these should be regularly checked by a qualified electrician	Owners/electrician	Weekly/quarterly
<b>Water</b>	Regularly inspect water tanks and pipes for leaks and that waste water is draining effectively. Plumbers should be called on to carry out repairs.	Owners/Plumber	Quarterly
<b>Fire alarm and suppression</b>	Check fire alarms and fire suppression systems are in fully functional working order. This includes portable extinguishers.	Owners/hydraulic consultant	Monthly
<b>Miscellaneous</b>			
<b>Vermin and pest control</b>	Check for white ants and vermin regularly. If noted then appropriate action should be taken. Regular inspection is preferred to the installation of potentially impactful physical barrier systems.	Owners/pest control	Bi annually





# Appendices

## Appendix A: Building Condition Assessment Report





# Undercliffe House

## Building Condition Assessment Report

Place name:				Place Number:	
Address:	22 Coongan Ave, Greenmount	Inspection Date:	13 Nov 2023	Inspection By:	Alana Jennings

This Building Condition Assessment Report notes the condition of general elements and areas of the buildings as identifiable by visual inspection. It has been limited to those areas and sections of the property fully accessible and/or visible to the authors on the dates of inspection. Where the condition of building fabric is described, this refers to the condition of significant architectural elements that can be ascertained by visual inspection. It is not a statement of structural condition other than where specialist input has been provided courtesy of Acor Consultants as the specialist structural engineer. For any works where structural input is noted, refer also to report NA231598 by Acor Consultants.

This document is in no way a certification of the inspected structure to the requirements of any acts or regulations. It is a reasonable attempt to identify any significant defects apparent at the time of the inspection which does not include areas that are concealed or obstructed. Certain condition items identified within this report may have arisen as the result of pest infestation, however this document should not be treated as specialist advice in relation to pest management or treatment approaches. Pest inspections and control measures should be considered by a qualified professional in accordance with any conservation methodologies, as required. A general inspection of electrical items was undertaken to understand operability; however this report does not constitute a detailed electrical report or include review of any wiring, capacity or faults.



While this was not a compliance review for the purposes of any occupancy codes or standards, it was noted that no smoke alarms were present in any of the rooms surveyed.





Key:

Priority Rating	Status	Definition of Rating
1	Immediate attention	Works required to prevent serious disruption of activities and/or may incur higher costs if not addressed within 1 year.
2	Urgent	Works that need to be addressed between 1-2 years to prevent serious deterioration.
3	Medium Term	Works likely to require rectification within 3 years.
4	Long Term	Works that can be safely and economically deferred beyond 3 years.
5	Desirable Works	Works that are not necessary to the ongoing retention of the condition of the place

Rating	Status	Definition of Rating
A	Excellent	<ul style="list-style-type: none"> <li>No defects.</li> <li>As new condition and appearance.</li> </ul>
B	Good	<ul style="list-style-type: none"> <li>Minor deterioration.</li> <li>Superficial wear and tear.</li> <li>Major maintenance not required</li> </ul>
C	Fair	<ul style="list-style-type: none"> <li>Damaged.</li> <li>Worn finishes require maintenance.</li> <li>Services are functional but need attention.</li> </ul>
D	Poor	<ul style="list-style-type: none"> <li>Failed but retrievable.</li> <li>Badly deteriorated.</li> <li>Potential structural problems.</li> </ul>
E	Very Poor	<ul style="list-style-type: none"> <li>Failed and not retrievable.</li> <li>Not operational.</li> <li>Unfit for occupancy or normal use.</li> </ul>






Location: SITE & SETTING							
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Site	<p>The heritage house sits within the context of a large scale multi storey nursing home development. One residential wing sits within close proximity to the eastern facade of the heritage building</p> <p>An access road passes close to the western facade of the heritage building, wrapping around the property to an open carparking area which is sited approximately 1m above the floor level of the heritage house</p>	The condition of new development does not form part of this review	The condition of the heritage building prior to construction of the adjacent residential wing, access road and raised carparking area is not known, however there is potential that adjacent excavation and construction works may have contributed to the structural issues noted today.	Dilapidation surveys and vibration monitoring of the heritage building must be undertaken as part of any further development on the site	N/A	N/A	 <p>General site aerial noting lot extents in purple and subject building in red circle</p>
Landscaping	There are garden beds to the east, south and west of the heritage building as well as an extensive lawned area to the south	N/A	Defects noted to rainwater goods and outlets in several locations	Ensure water is directed away from the building. Refer to Location: Roof	N/A	N/A	N/A
	<p>Mature plantings are found throughout the site including to the east and south of the heritage building. Several of the mature trees on the site are also noted as significant</p> <p>Sprinkler/reticulation systems not inspected as part of this review</p>		Known plumbing leak within garden bed adjacent to the eastern edge of the heritage building	<p>Isolate and repair plumbing issues before undertaking like-for-like repairs to brickwork and internal finishes</p> <p>Ensure any watering systems are operational and not spraying or allowing water to pool directly onto the structure</p>	100%	1	

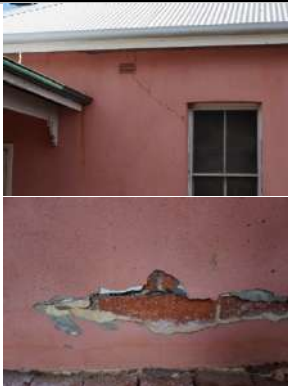



## B-01 Undercliffe House (c1890) Additions c.1920

Location: EXTERNAL: ROOF			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Images
Roof covering	Custom orb zincalume corrugated metal. Hipped roofs with three gable ends to the southern facade	B – Good Where visible	Roof covering appears sound from all available vantage points	Detailed inspection should be undertaken as part of any noted roofing repairs. Inspect for lifted or degraded sheets and refix and reseal as required. Roofing material is not original and may be replaced like-for-like as required	Inspect 100%	1	
Flashings	Rolled top ridge capping to match sheeting finish  Apron flashing to chimney base surrounds	B – Good Where visible	Flashings appear sound from all available vantage points, however level of pigeon activity suggests there is likely to be a point of weakness located centrally within the roof area which may be related to flashing failure. Evidence of corroded fixings to ridge capping	Detailed inspection should be undertaken as part of any noted roofing repairs. Inspect for lifted or degraded flashings and refix and reseal as required. Roofing material is not original and may be replaced like-for-like as required	Assume 10% flashing and 100% ridge fixings to be replaced	3	
Chimneys	Seven masonry chimneys (four double flue and three sing). Chimneys feature sections of rendered banding and painted masonry with terracotta chimney pots.  Review only available from ground, adjacent verandah and one ceiling hatch at the time of inspection	C – Fair Where visible	Significant organic build up and deterioration to rendered banding likely facilitating water ingress. Unknown if chimney pots have been blocked externally	Undertake detailed structural inspection of all chimneys as part of any noted roofing repairs. Clean back organic growth and repair any cracked, loose, or drummy render to match. Repoint masonry like-for-like and consider removal of paint from all face brick surfaces	7	2	
			Roof space review of chimneys only possible to partial surfaces of G-02 and G-03 due to access and pigeon activity, minor pointing deterioration noted	Undertake detailed structural inspection of all chimneys following removal of pigeon infestation. Repoint and repair like-for-like as required	7	2	
			Pigeon activity appears to be concentrated around the chimney to room G-06 and G-07	Review area for likely pigeon access points and repair to prevent re-entry	1	1	






Location: EXTERNAL: ROOF			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Images
Rafters, purlins and battens	Access only possible above room G-02 due to pigeon activity. In these areas structure consisted of Jarrah roof framing members. Coupled roof framing layout with jarrah ceiling battens and collar ties	B – Good Where visible	None noted	Refer to structural engineer's advice  Ensure repairs or replacement is like-for-like wherever possible	-	-	
Gutters	Metal half round profile gutters assumed replacement fabric. Not all areas visible due to available roof access on day of inspection	D – Poor	All gutters significantly blocked with organic material	Clear all gutters of organic material	100%	1	
			Rusted out guttering to eastern bay window  Guttering detached above main entry door	Replace all rusted out and deteriorated sections of guttering. Consider long term replacement of all guttering with profile to match original	10%		
Downpipes	Circular profile metal downpipes, generally painted to match adjacent wall or column. Downpipes generally expel to in ground sumps but some expel directly to ground. Splitters noted from upper roofs dispelling to lower roof surfaces	C/D – Fair/Poor	Splitter outlet detached from roof	Replace all rusted out, deteriorated or missing sections of downpipe	30%	1	
			Downpipe to western corner partially missing				
			Downpipe to eastern corner corroded				



Location: EXTERNAL: ROOF			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Images
			Downpipe sumps generally blocked with organic material, others have no sump and expel to bricks or garden beds	Install rainwater sump boxes at all downpipes connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building and prevents soil saturation. Refer also to structural	100%	2	
			Paint to all downpipes is significantly deteriorated	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on original finishes	100%	3	
Verandah roof structure	Timber hardwood framing	B – Good	None noted	Refer to structural engineer's advice  Ensure repairs or replacement is like-for-like wherever possible	100%	4	
Fascia, bargeboards and trims	Timber, painted white	D – Poor	Significant timber deterioration noted to gable ends, paintwork deteriorated to all timber roof finishing elements	Remove paint that is loose and friable back to sound face to allow repainting Where timbers are deteriorated beyond repair, replace to match like-for-like Prepare and repaint, with colour to match or based on original finishes	Painting 100%  Replace 10%	2	
Soffits and eaves	Timber slats, painted white	C/D – Fair/Poor	Minor instances of detached or deteriorated timbers noted paint finish deteriorated to all	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on original finishes	100%	3	

Location: NORTH EXTERNAL ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Rendered masonry painted pink	C – Fair	Cracking noted at north west corner	Refer to structural Following structural repairs, make good finishes to match like-for-like or consider return to original finishes where possible	15%	2	
			Low level brickwork decay noted to north east corner near known plumbing leak to adjacent garden bed. Deterioration appears to be isolated below visible DPC	Isolate and repair plumbing issues before undertaking like-for-like repairs to brickwork and pointing	10%	2	
Windows	Timber framed painted white. Four fixed panel obscured glazing windows to bathrooms, four double hung sash windows to other rooms	C – Fair	Paintwork to windows is worn but generally sound.	Repair where necessary to ensure windows are watertight. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	8	3	
Doors	Four single leaf timber doors, all painted white  One double leaf timber door with inset glazed panels, painted white	B – Good	Paintwork to doors is worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	
Floors	External brick paving (not original) hard set against building to full length other than where a garden bed is situated to the easternmost corner	B – Good	Low level moisture noted to base of walls generally	Provide breathing strip between external wall face and any areas of hardscaping or landscaping	100%	3	








Other Features	Timber framed verandah with decorative timber columns painted white	C – Fair	Paintwork to timber is significantly deteriorated.	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes Stirrups to column bases appear sound but should be inspected as part of any surrounding paving or earthworks	100%	2	
Footings	Not visible	Unknown	Refer to structural	Refer to structural engineer's advice	100%	1	N/A


Location: EAST EXTERNAL ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Rendered masonry painted pink	C – Fair	Cracking noted to external wall of G-03	Refer to structural Following structural repairs, make good finishes to match like-for-like or consider return to original finishes where possible	>10%	3	
			Low level damp and brickwork decay noted below verandah structure	Repair rainwater disposal issues before undertaking like-for-like repairs to brickwork and pointing  Provide breathing strip between external wall face and any areas of hardscaping or landscaping	10%	2	
Windows	One double hung timber framed sash window to G-11 Three bay timber frame sash windows with fixed panel transoms above to G-03. All framing painted white	E – Very Poor	Evidence of water ingress and significant deterioration of timber joinery and paint finishes  Cracking to rendered sill	Clean back organic growth and repair any cracked, loose, or drummy render to match.  Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing.  Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes  No obvious evidence of termite activity however closer inspection should be undertaken when closer access is available	100%	2	
Doors	One single leaf timber door, painted white  Hardware remains in situ and is a mix of new and old	B – Good	Paintwork to doors is worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	N/A
Floors	Timber decking to southern verandah	C – Fair	Timber is deteriorated but appears to be generally sound and trafficable	Undertake detailed underfloor inspection as part of any repair works. Termite activity was noted to the western end of the verandah and all elements should be checked and treated accordingly	100%	1	

				Retain and refinish timbers to decking, if any elements are found to be deteriorated beyond repair undertake like for like replacement before sanding decking timbers back to sound face and oiling	100%	2	
Other Features	Timber verandah structure to southern end of elevation	D – Poor	Timber deterioration to base of columns and significant deterioration of paint finishes	<p>Repair rainwater disposal issues before repairing and refinishing timber work like-for-like</p> <p>Repair columns to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing.</p> <p>Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match</p> <p>Undertake termite inspection to all elements</p>	100%	2	
Footings	Not visible	Unknown	Refer to structural	Refer to structural	100%	1	N/A





Location: SOUTH EXTERNAL ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Rendered masonry painted pink	E – Very Poor	Significant cracking noted throughout, particularly to low height masonry walls supporting verandah structure	Refer to structural Following structural repairs, make good finishes to match like-for-like or consider return to original finishes where possible	50%	1	
Windows	Three sets of three bay timber frame sash windows with fixed panel transoms above, one to each gable end. All framing painted white. Fly screening attached externally to all windows	C – Fair	Paintwork to windows is worn but generally sound.	Repair where necessary to ensure windows are watertight. Remove broken flyscreens Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	3	3	
			Corroded lintels over bay windows	Remove loose or drummy render. Brush back paint coatings and areas of corrosion. Apply zinc rich protective coating and refinish to match like-for-like	3	2	
Doors	One double timber door with glazed inset panels to verandah, painted white  One single leaf timber door, painted white with feature glass panels to sidelights and transom	C – Fair	Minor chips and cracking to feature glazing sidelight panels	Glazing panels are highly significant, investigate ability to remove and refurbish offsite during corrective structural works to ensure they are protected. Replace cracked glass panels like-for-like and reinstate	1	3	
			Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	

	One set of double metal gates to verandah breezeway		Corrosion to breezeway gates	Brush back paint coatings and areas of corrosion. Apply zinc rich protective coating and refinish to match like-for-like	1	3	
Floors	Timber decking to verandah	Varied E – Very Poor to western end to C – Fair at eastern end	Timber to western end has failed with evidence of termite attack and water damage. Timber elsewhere is deteriorated but appears to be generally sound and trafficable	Undertake detailed underfloor inspection as part of any repair works. Termite activity was noted to the western end of the verandah and all elements should be checked and treated accordingly	100%	1	 
				Replace decking and structural timbers to western end of verandah like for like	20%	1	
				Retain and refinish remaining timbers to decking, if any elements are found to be deteriorated beyond repair undertake like for like replacement before sanding decking timbers back to sound face and oiling	100%	2	
Other Features	Timber verandah structure to southern end of elevation	D – Poor	Timber deterioration to base of columns and significant deterioration of paint finishes	Repair rainwater disposal issues before repairing and refinishing timber work like-for-like  Make columns to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing.  Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match  Undertake termite inspection to all elements	100%	2	
	Masonry and cement entry staircase	C – Fair	Stairs appear sound however masonry piers are detached with significant cracking noted	Refer to structural Following structural repairs, make good finishes to match like-for-like or consider return to original finishes where possible	2	4	
Footings	Not visible	Unknown	Refer to structural	Refer to structural	100%	1	N/A






Location: WEST EXTERNAL ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Rendered masonry painted pink	C – Fair	Cracking noted at north west corner	Refer to structural Following structural repairs, make good finishes to match like-for-like or consider return to original finishes where possible	15%	2	
Windows	Two double hung timber framed sash windows. All framing painted white	C – Fair	Paintwork to windows is worn but generally sound.	Repair where necessary to ensure windows are watertight. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	N/A
Doors	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Floors	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Other Features	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Footings	Not visible	Unknown	Refer to structural	Refer to structural	100%	1	N/A





Location: Undercliffe House			Room Number: G-01				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	C – Fair	Cracking to corridor corner adjacent to external door  Cornice cracking to south wall	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Repair and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing	100%	2	
Walls	Rendered masonry, painted light green  Timber skirting, painted white	C – Fair	Cracking from door to south corner ceiling  Cracking from door to fireplace  Vertical cracking from missing corbel to floor	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	One timber framed double hung sash window to external breezeway, painted white  Hardware remains in situ  Operability unknown	B – Good	Damage to framing likely relating to former blinds  Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Fill holes to joinery, prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	
Doors	Double timber doors, painted white  Hardware remains in situ  Operability unknown	B – Good	Paintwork to doors is worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	As above
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	N/A	N/A	N/A	N/A	N/A	N/A	N/A

Location: Undercliffe House			Room Number: G-01				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Electricals	Two fluorescent lights – not original	D - Poor	Lights are not operational	Review electrical circuits to the entire property  Replace with new light fittings in keeping with the original design of the house	2	3	N/A
Other	Timber fireplace mantle, unpainted. Concrete hearth	C – Fair	Timber hearth surrounds are detached, and timberwork is worn but generally sound	Reinstate timber hearth surrounds. Clean dirt and debris from mantle surrounds and refinish to match existing	1	3	
	Corbel detail to corridor	E – Very Poor	One of the two corbel details is missing	Reinstate to match remaining detail	1	4	





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Location: Undercliffe House			Room Number: G-02				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	B – Good	Cornice is partially detached to the north and south walls, with debris settlement below from pigeon movement in the roofspace	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Repair and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing	100%	2	
Walls	Rendered masonry, painted light green	C – Fair	Minor cracking to south wall and at juncture with door  Evidence of efflorescence and render deterioration below northern window	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	One timber framed double hung sash window to external breezeway, painted white  Hardware remains in situ  Not operable	C – Fair	Minor glazing cracking  Paintwork to window framing worn but generally sound.	Replace cracked glazing and ensure window is watertight.  Remove paint that is loose and friable back to sound face to allow repainting.  Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	2	
Doors	Two single leaf timber doors, both painted white  Hardware remains in situ. Hardware to external door is new	B – Good	Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting  Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	
Floors	Linoleum over concrete	D - Poor	Floor covering is worn and close to end of life	Remove linoleum and inspect floor condition Recover floor to suit functionality of the space	100%	3	



Location: Undercliffe House			Room Number: G-02				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Fixtures and Fittings	Kitchen fitout – not original	D - Poor	Fitout is worn and reaching end of life	Kitchen may be removed or replaced as required to suit the use	100%	3	
Electricals	One fluorescent light – not original Two GPOs above kitchen	B – Good	Appear operational	N/A	N/A	N/A	
Other	Fireplace, no mantle or visible hearth, chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	

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Location: Undercliffe House			Room Number: G-03				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Moulded plasterglass, painted	D – Poor	Ceilings are visibly bowing out from the centre  Cornices have separated and dropped to the eastern corners of the room	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Retain existing ornate ceiling. Prop, restrap ceilings and refix cornices before making good finishes like-for-like	100%	1	
Walls	Rendered masonry, painted light green	D – Poor	Significant cracking to western wall and around juncture with door  Cracking over arch to bay window	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	Three bay timber frame sash windows with fixed panel transoms above, painted white	D – Poor	Evidence of water ingress and significant deterioration of timber joinery	Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing.  Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes  No obvious evidence of termite activity however closer inspection should be undertaken when closer access is available	100%	2	
Doors	One double timber door with glazed inset panels to verandah, painted white  Two single leaf internal timber doors, both painted white  Hardware remains in situ and is a mix of new and old	C – Fair	Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	3	3	

Location: Undercliffe House			Room Number: G-03				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Electricals	One fluorescent light – not original  One GPOs visible near fireplace	B – Good	Appear operational	N/A	N/A	N/A	N/A
Other	Timber fireplace mantle, painted white. Tiled hearth. Chimney boarded up	C – Fair	Streaking to rear face of fireplace suggests there is some level of water ingress occurring from the chimney above	Consider reinstatement of chimney function, if this does not suit intended future function then ensure chimney is adequately blocked externally to ensure water ingress does not occur	1	2	



Location: Undercliffe House			Room Number: G-04				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	B – Good	Minor separation noted to cornices	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Repair and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing	100%	2	
Walls	Rendered masonry, painted light green	C – Fair	Cracking to western wall to internal corridor	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	N/A	N/A	N/A	N/A	N/A	N/A	N/A
Doors	One single leaf timber door with glazed inset panels to verandah, painted white  One single leaf internal timber door, painted white  Hardware remains in situ	C – Fair	Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	3	3	
Floors	Linoleum over timber	C – Fair	No major defects noted however linoleum finishes impede detailed inspection of the floorboards and underfloor area	Remove linoleum and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	Sink installed to the southern wall – not original	B – Good	N/A	Remove intrusive fabric	1	5	




Location: Undercliffe House			Room Number: G-04				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Electricals	One fluorescent light – not original	B – Good	Appear operational	N/A	N/A	N/A	N/A
	Two GPOs visible to north wall						
Other	Timber fireplace mantle, painted white. Tiled hearth. Chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	

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Location: Undercliffe House			Room Number: G-05				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Moulded plasterglass, painted	C – Fair	Some deflection noted to moulded feature elements  Cracking and deflection to cornices particularly around the bay windows	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Retain existing ornate ceiling. Prop, restrap ceilings and refix cornices before making good finishes like-for-like	100%	1	
Walls	Rendered masonry, painted light green	C – Fair	Cracking to north wall with significant render loss	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
	Timber stud wall to internal corridor (west wall)	B – Good	N/A	Not original, consider removal and reinstatement of open entry reception room	1	4	
Windows	Three bay timber frame sash windows with fixed panel transoms above, painted white  Hardware in situ, not operable	C – Fair	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	100%	3	
Doors	One single leaf internal timber door, painted white  Hardware remains in situ	C – Fair	Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	


Location: Undercliffe House			Room Number: G-05				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	Airconditioning unit to east wall – intrusive element	Unknown	Not tested	Remove redundant services where possible and make good finishes	1	5	
Electricals	One fluorescent light – not original Switchboard One GPOs visible to south wall	B – Good	Lights operational, switchboard not tested	N/A	N/A	N/A	N/A
Other	Timber fireplace mantle, painted white. Tiled hearth. Chimney boarded up	B – Good	Debris within fireplace suggests there is some level of ongoing water ingress occurring from the chimney above	Consider reinstatement of chimney function, if this does not suit intended future function then ensure chimney is adequately blocked externally to ensure water ingress does not occur	1	2	
Central Corridor	One single leaf timber door, painted white with feature glass panels to sidelights and transom	C – Fair	Minor chips and cracking to feature glazing sidelight panels	Glazing panels are highly significant, investigate ability to remove and refurbish offsite during corrective structural works to ensure they are protected. Replace cracked glass panels like-for-like and reinstate	1	2	
	Hardware remains in situ		Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	2	

Location: Undercliffe House			Room Number: G-05				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
	Archways with moulded capitals	B – Good	N/A	Monitor condition and detailing during corrective structural works	2	N/A	





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Location: Undercliffe House			Room Number: G-06				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Moulded plasterglass, painted	C – Fair	Ceilings are visibly bowing out from the centre, deflection noted to moulded feature elements  Cracking and deflection to cornices particularly over windows	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Retain existing ornate ceiling. Prop, restrap ceilings and refix cornices before making good finishes like-for-like	100%	1	
Walls	Rendered masonry, painted light green	C – Fair	Cracking near bay window and to eastern wall	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	Three bay timber frame sash windows with fixed panel transoms above, painted white  Full height sash window to external verandah  Hardware in situ, not operable	C – Fair	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	100%	3	
Doors	One single leaf internal timber door, painted white  Hardware remains in situ	C – Fair	Paintwork to doors are worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	N/A
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	Space heater	Unknown	Not tested	Remove redundant services where possible and make good finishes	1	5	N/A

Location: Undercliffe House			Room Number: G-06				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Electricals	One fluorescent light – not original Multiple GPOs visible	B – Good	Appear operational	N/A	N/A	N/A	N/A
Other	Timber fireplace mantle, painted white. Tiled hearth. Chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	





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Location: Undercliffe House			Room Number: G-07					
Area	Description	Condition	Defect Location	Work to Rectify defect		Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	C – Fair	Minor separation noted to cornices	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Repair and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing		100%	2	
Walls	Rendered masonry, painted light green	C – Fair	Cracking to south wall and above fireplace	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes		20%	2	
Windows	N/A	N/A	N/A	N/A		N/A	N/A	
Doors	One double timber door with glazed inset panels to verandah, painted white  One single leaf internal timber door, painted white	C – Fair	Missing hardware  Paintwork to door is worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes  Reinstate hardware to match original		2	3	
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes		100%	2	
Fixtures and Fittings	N/A	N/A	N/A	N/A	N/A	N/A	N/A	
Electricals	One fluorescent light – not original No visible GPOs	B – Good	Appear operational	N/A		N/A	N/A	

Location: Undercliffe House			Room Number: G-07				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Other	Timber fireplace mantle, unpainted. Tiled hearth. Chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	





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Location: Undercliffe House			Room Number: G-08				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Pressed metal panels, painted white	B – Good	Isolated rusting to eastern side of ceiling	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Retain existing ornate ceiling. Prop and refix ceilings, brush back areas of corrosion and make good finishes like-for-like	100%	1	
Walls	Rendered masonry, painted light purple	C – Fair	Cracking noted throughout	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	Two timber framed double hung sash windows, painted white  Hardware remains in situ  Not operable	C – Fair	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	1	3	
Doors	One single leaf internal timber door, painted white  Hardware remains in situ	C – Fair	Paintwork to door is worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	
Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	Space heater  Built in cabinetry	Unknown	Not tested	Remove redundant services where possible and make good finishes	1	5	

Location: Undercliffe House			Room Number: G-08				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Electricals	Two fluorescent lights – not original GPOs visible to cabinetry	B – Good	Appear operational	N/A	N/A	N/A	
Other	Timber fireplace mantle, painted white. Chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	


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Location: Undercliffe House			Room Number: G-09				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Pressed metal panels, painted white	B – Good	Isolated rusting to ceiling around fireplace	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Retain existing ornate ceiling. Prop and refix ceilings, brush back areas of corrosion and make good finishes like-for-like	100%	1	
Walls	Rendered masonry, painted light purple	C – Fair	Cracking noted throughout	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	
Windows	Three bay timber frame sash windows with fixed panel transoms above, painted white  Full height sash window to external verandah  Hardware in situ, not operable	C – Fair	Evidence of water ingress and minor joinery deterioration  Paintwork to window framing worn but generally sound.	Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing.  Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes  No obvious evidence of termite activity however closer inspection should be undertaken when closer access is available	100%	3	
Doors	Two single leaf internal timber doors, painted white  Hardware remains in situ	C – Fair	Paintwork to door is worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	


Floors	Timber floors, carpeted	C – Fair	No major defects noted however carpet finishes and stored materials impede detailed inspection of the floorboards and underfloor area	Remove deteriorated carpets and inspect floor finishes and underfloor structure  Install floor inspection hatches if none are present and review condition of underfloor structure including presence of pest and deterioration, treat and make good any issues noted  Reinstate original timber floor finishes	100%	2	
Fixtures and Fittings	Sink to southern wall	N/A	Element is intrusive	Removal and making good of finishes recommended	1	5	
Electricals	One fluorescent light – not original Multiple GPOs visible	B – Good	Appear operational	N/A	N/A	N/A	
Other	Timber fireplace mantle with feature tiled surrounds, unpainted. Chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	




Location: Undercliffe House			Room Number: G-010				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	C – Fair	Minor deflection of cornices	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Refix and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing	100%	2	
Walls	Rendered masonry, painted light green  Timber skirting, painted white	C – Fair	Minor cracking noted	Refer to structural advice  Following structural repairs, make good finishes to match like-for-like or based on paint scrape analysis of original finishes	20%	2	N/A
Windows	Two timber framed double hung sash windows, painted white  Hardware remains in situ  Operability unknown	B – Good	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	
Doors	Two single leaf internal timber doors, painted white  Hardware remains in situ	B – Good	Paintwork to door is worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	
Floors	Concrete floors, carpeted	C – Fair	Floor covering is worn and close to end of life	Remove carpet and inspect floor condition Recover floor to suit functionality of the space	100%	3	
Fixtures and Fittings	Airconditioning unit	Unknown	Not tested	Remove redundant services where possible and make good finishes	1	5	

Location: Undercliffe House			Room Number: G-010				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Electricals	One fluorescent light – not original Multiple GPOs visible	B – Good	Appear operational	N/A	N/A	N/A	N/A
Other	Fireplace, no mantle or visible hearth, chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	

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Location: Undercliffe House			Room Number: G-011				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	B – Good	No defects noted	Isolate pigeon entry point and remove active infestation and associated debris from roof space  Refix and refinish ceilings. If necessary following removal of pigeons, ceilings in this room may be replaced to match existing	100%	2	
Walls	Rendered masonry, painted beige  Timber skirting, painted white	B – Good	Minor paint bubbling and indications of low level damp noted to northern and eastern walls. Known water leak to adjacent eastern garden bed and visible brickwork deterioration externally.	Isolate and repair plumbing issues before undertaking like-for-like repairs to brickwork and internal finishes	10%	2	
Windows	Two timber framed double hung sash windows, painted white  Hardware remains in situ  Operability unknown	B – Good	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	
Doors	Two single leaf timber doors, painted white  Hardware remains in situ	B – Good	Paintwork to door is worn but generally sound	Remove paint that is loose and friable back to sound face to allow repainting Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	2	3	
Floors	Concrete floors, carpeted	C – Fair	Floor covering is worn and close to end of life	Remove carpet and inspect floor condition Recover floor to suit functionality of the space	100%	3	

<b>Fixtures and Fittings</b>	Airconditioning unit  Built in sink and tiled splashback	Unknown	Not tested	Remove redundant services where possible and make good finishes	1	5	
<b>Electricals</b>	One fluorescent light – not original Multiple GPOs visible	B – Good	Appear operational	N/A	N/A	N/A	N/A
<b>Other</b>	Fireplace, no mantle or visible hearth, chimney boarded up	B – Good	N/A	Consider reinstatement of chimney function	1	5	N/A

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Location: Undercliffe House			Room Number: G-012				
Area	Description	Condition	Defect Location	Work to Rectify defect	Extent	Priority Ranking	Typical Images
Ceiling	Plain plasterboard with simple moulded cornices, painted white	C – Fair	Water ingress noted above sink	Clear external gutters and ensure rainwater systems are performing adequately. Repair and make good damage to ceilings  Ceilings in this area are not significant and may be replaced or refinished as required	20%	2	
Walls	Rendered masonry, painted grey	B – Good	No defects noted	N/A – Fabric in this area is not significant and may be replaced or refinished as required	-	-	N/A
Windows	One timber framed double hung sash window, painted white  Four timber framed fixed panel obscured glazing windows, painted white	C – Fair	Paintwork to window framing worn but generally sound.	Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to suit areas of significant fabric	2	3	
Doors	Two single leaf timber doors, painted white  Hardware remains in situ	B – Good	No defects noted	N/A	-	-	N/A
Floors	Bathroom fitout	B – Good	No defects noted	N/A	-	-	N/A
Fixtures and Fittings	Bathroom fitout and fixtures	C – Fair	Fixtures are worn	Bathroom fitout is not significant, replace to suit future occupation	100%	4	N/A
Electricals	Fluorescent lights to each cubicle area – not original	B – Good	Appear operational	N/A	N/A	N/A	N/A
Other	N/A	N/A	N/A	N/A	N/A	N/A	N/A



## Appendix B: Structural Condition Assessment Report.







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# Undercliffe House

## High Level Report – Structural Condition and Conservation

**Prepared for: element WA**

**Document no: NA231598 Condition Report 00 141123**

**Revision no: 1**

## 1 Observation Summary

ACOR Consultants was engaged to undertake a high-level structural condition report for Undercliffe house located at 22 Coongan Ave, Greenmount. The purpose of the inspection was to identify structural issues which may affect the heritage conservation of the structure and provide high-level remedial methodologies that will form the basis of a detailed remediation and conservation scope of works. The scope of the inspection was limited to the elements that were visible and safely accessible at the time of inspection. No sampling, testing or invasive inspections were undertaken as part of the works.




The principal observations of the structural inspection were as follows:


- Cracking was present throughout much of the internal and external masonry walls. The cracking was generally stepped or diagonal through a masonry panel or from the corner of a window or door. Some cracks were vertical or horizontal and located at the ends of a masonry panel or at the eave level.
- Diagonal cracking can generally be attributed to soil movement, either through heave, shrinkage, or subsidence. The structure is located on clayey soil and is likely to undergo a significant amount of seasonal movement.
- Vertical cracking can be attributed to temperature variations; however, may also be caused by soil movement.
- Horizontal cracking may be caused by thermal effects or masonry creep; however, may also be caused by foundation settlement.
- There have been new developments to the site surrounding the structure; including a new two-storey structure to the east of the building and a new road to the west of the structure. The construction activities may have created vibration through the soil which may have created or exacerbated cracking in the brickwork.
- Another risk from development around the existing structure is the draining of soil moisture and the alteration of soil moisture movement around the structure. Soil which may previously have been wet will have drained under the load of the new construction and affected the soil moisture around Undercliffe house. This may have created new subsidence or consolidation in the structure which led to new stress developing in the masonry walls.
- The building is also located on a slope which may create differential moisture conditions across the building during wet seasons when the soil may be saturated. The stormwater drainage system must be reviewed and revised to ensure that stormwater runoff from the roof is suitably piped away from the building to limit localised saturation close to building foundations.
- The foundations will require a survey to confirm areas most suitable for resin injection. Foundation resin injection will be needed to correct footing positions prior to the completion of masonry repairs.
- Diagonal and vertical masonry cracking has likely occurred due to foundation movement. Following the repair of the foundations and the stormwater drainage system, the masonry cracking is recommended to be repaired with Helifix bars or a similar approved masonry tie system. This is intended to protect against the reopening of cracking at existing weak points due to seasonal soil movement or soil consolidations. Horizontal cracking may be repointed as required.
- Termite damage was found on the southern decking structure. Damaged decking boards and members will require replacement.

All specifications in the remediation section are based on current information, which is observed and inferred from the recent site inspection and shall be confirmed after a comprehensive structural design. The remediation methodology may be changed due to updated information once the removal of damaged elements or invasive investigations have been carried out.




This report shall not be construed as a design assessment of the existing structure and does not relieve the original designers of their responsibility to align to the requirements of the standards relevant at the time of construction.

## 2 Inspection Observations

Location: GENERAL POINTS			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Images
Roof Cladding	Steel sheet roof cladding. "Colorbond Custom Orb" or similar profile.	B	Hip ridge capping.	Replace corroded fixings. Primarily visible at the hip ridges. All fixings should be reviewed and replaced where corrosion is visible.	100% of fixings	3	 
	Pigeons were accessing the roof at undetermined location(s). This may suggest a flashing issue or an issue with eaves cladding.	C	Undetermined. Consider to be whole of roof for scoping purposes	Determine any points of ingress for pigeons and rectify to prevent future access. Consider a suitable pest treatment to prevent future pigeon habitation.	100% of roof cladding	1	
Roof Structure	Accessible areas were Jarrah roof framing members. Coupled roof framing layout with jarrah ceiling battens and collar ties.	B	General maintenance and review to be undertaken to the whole roof structure	Review all framing connections, confirm condition of all roof members. Bolster or replace defective members as required.	10% (Est.)	3	



Location: GENERAL POINTS			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Images
<b>Ceiling Structure</b>	Jarrah ceiling battens with plasterboard ceiling.	D	All visible ceilings, likely all ceiling space in the building.	Remove all pigeon faeces from ceiling. The additional load may affect structural performance and performance of ceiling lining.	100%	1	
<b>Floor structure</b>	Could not be viewed. Likely jarrah framing on jarrah posts.	B	General maintenance and review to be undertaken to whole floor structure as part of larger works	Review all framing connections and confirm the condition of floor members. Bolster or replace defective members as required	10% (Est.)	3	Not available
<b>Foundations</b>	Could not be viewed. Likely shallow concrete foundations with a cast in connection to the post bases.	D	Refer to Highlighted areas of appendix A for approximate foundation locations estimated to require resin injection.	<p>Survey foundations and identify areas of subsidence. The gridlines listed appear to be the priority; however, a holistic survey of the building foundations is recommended to ensure all subsidence issues are identified.</p> <p>Seasonal movement and Drying-induced consolidation from the nearby new construction works may also have caused movement in the clay soils supporting the foundations.</p> <p>Subsidence should be stabilised via resin injection in targeted locations following the detailed survey. Significant subsidence may require underpinning or the installation of new foundations. Underpinning is often difficult to achieve with historic structures and may resulting in further cracking.</p> <p>Ensure that all stormwater drainage systems are surveyed and functioning effectively. All roof storm water should be drained away from the building and not saturate the surrounding soil.</p>	100% (Est.)	1	Not available





Location: NORTH ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Masonry construction.	D	At Northwest corner of building from corner of window diagonally upward.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	15%	2	
	Nine windows along elevation.  Three doors along elevation.		At external corner to G010 entry door.				
Roof Plumbing	Steel guttering and steel downpipes	C	Toward eastern corner	Remove vegetation and clean guttering	10%	2	
	Three downpipes along elevation.	D	All downpipes	Reseal and repaint downpipes. Where corrosion has occurred, the whole downpipe must be replaced.	100%	2	




Location: NORTH ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Storm water drainage	Some downpipes had rainwater sump boxes; others had nothing and drained to ground in front of the verandahs.	E	At all downpipes	<p>Install rainwater sump boxes at all downpipes connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building to avoid soil saturation. Soak wells are not a suitable solution on this site.</p> <p>Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.</p>	100%	2	See above.

Location: EAST ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
<b>Walls</b>	Masonry walls. Two windows and one door along this elevation.	C	Some minor cracking in room G03 window bay.	Repair cracking AFTER foundations have been repaired and building stormwater system has been repaired. Visible cracking appeared to be minor along this elevation. Repair may only require grout injection with low viscosity mortar.	>10%	3	No accessible for wide angle photo.
<b>Roof Plumbing</b>	Steel Guttering	B	No significant visible structural defects, ensure guttering is clear.	Clean out all guttering.	100%	3	
<b>Storm water drainage</b>	Downpipes generally did have rainwater sump boxes. It is not clear where they drain to or the condition of sub-soil drains.	C	Sub-soil drainage	Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.	100%	2	Not accessible




Location: SOUTH ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Masonry walls	D	Cracking to brickwork adjacent to G09 window at bottom corners and centre bottom of window	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	20%	1	
	Three windows along elevation  Two doors and on gate along elevation.		Vertical cracking near to central gate.  Stepped cracking near G06 window				
Windows	Three windows along elevation	C	Apparent corrosion to steel lintels for G09, 06, and 05 windows.	Remove paintwork and inspect lintel. Brush back corrosion and repaint bare steel with two coats of zinc rich primer.	100% (of window lintels)	3	



Location: SOUTH ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Roof Plumbing	Steel guttering and steel downpipes	E	Corroded downpipe at southwest corner. The condition of all downpipe rainwater sump boxes requires review	Corroded downpipe requires replacement.	25%	1	
	Four downpipes present along elevation			All downpipes must have rainwater sump boxes	100%	2	
Storm water drainage	Some sump boxes appeared to be present although it is unclear whether they are effective and drain to a suitable sub-soil drainage system.	C		<p>All downpipes must have rainwater sump boxes and be connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building to avoid soil saturation. Soak wells are not a suitable solution on this site.</p> <p>Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.</p>	100%	2	



Location: WEST ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Walls	Masonry walls	D	Cracking at Northwest corner of building.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	40%	2	
	Two windows along elevation		Cracking at Southwest corner of building.				
Roof Plumbing	Steel gutters and steel downpipes.  Two downpipes present along elevation at corners.	B	All gutters and downpipes	General maintenance to downpipes and gutters recommended. Ensure guttering is kept clear of debris.	100%	3	


Location: WEST ELEVATION			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Storm water drainage	Both downpipes had rainwater sump boxes, although it is unclear where they drain to.	C	All sub-soil drainage.	Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.	100%	2	See above




Location: SOUTHERN VERANDAH			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
<b>Structural Framing</b>	Timber verandah beams and verandah posts.	B	All verandah posts	Remove paint and repair protective coating to timber posts	100%	2	
<b>Walls</b>	Masonry low height walls supporting decking structure and verandah posts over.  Masonry garden bed walls adjacent to stairs.	E	Significant cracking to the western end of the verandah wall.  Cracking at corner of deck wall.  Cracking to deck wall near to eastern end.  Cracking to garden bed in multiple locations.	Significant cracks will require some masonry replacement AFTER wall foundations have been repaired and building stormwater drainage system has been repaired.  Minor cracking may be repaired with Helifix bards AFTER wall foundation have been repaired and building stormwater drainage system has been repaired. Repoint masonry with suitable mortar.	50%	1	
<b>Decking boards</b>	Timber hardwood decking boards.	E	Termite damage at western end of decking.  Generally, decking felt soft and may have deteriorated capacity.	After termite infestation is confirmed to have been removed, termite damaged decking boards will require replacement along southwest corner.  Consider holistic like for like replacement of decking boards to southern verandah depending on final purpose of structure. Decking boards may not be capable of supporting loading requirements of a change in use to the structure.	15%  100%	1  3	

Location: SOUTHERN VERANDAH			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
<b>Decking Structure</b>	Hardwood decking members spanning between the building and the low height masonry walls.	E	Termite damage to joists at western end of structure.  Other areas generally felt solid; however, a more invasive investigation is recommended.	After termite infestation is confirmed to have been removed, termite damaged members will require replacement.	15%	1	
<b>Other Features</b>	Masonry turn-outs for external stair.	D	At joint to garden bed walls.	Reposition masonry turn out and fix into position N10 dowel bars against existing masonry piers. Alternatively, tooth in new stair turnouts to ensure appropriate connection between masonry elements in place of apparent vertical joint.	Both	4	
<b>Footings</b>	Footings were not visible for low height wall or garden bed wall. Assumed shallow concrete strip footings	D (Assumed).	All foundations	Survey foundations and identify areas of subsidence.  Subsidence should be stabilised via resin injection. Significant subsidence may require underpinning or the installation of new foundations.  Ensure that all stormwater drainage systems are surveyed and functioning effectively. All roof storm water should be drained away from the building and not saturate the surrounding soil.	100%	1	Not visible




Location: SOUTHERN VERANDAH			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
				Replacement of foundations (and masonry over) may be a more suitable option for the long term suitability of the low height deck walls and garden bed walls.			





Location: NORTHERN VERANDAH			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
<b>Structural Framing</b>	Timber hardwood framing.	B	Generally, no significant visible structural defects	Detailed inspection required of all timber connections and fixings. Repair paint treatment required to surface coating on all verandah posts	100%	4	
	Timber hardwood verandah beams and posts.	B					
<b>Footings</b>	Foundations could not be viewed. Steel stirrups were visible at the column bases. Shallow concrete foundations are assumed.	B	No significant visible structural defects	Recommendation to dig around stirrups to expose steelwork and confirm no corrosion is present to steel fixing.	100%	4	Not visible


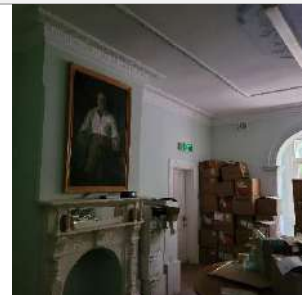
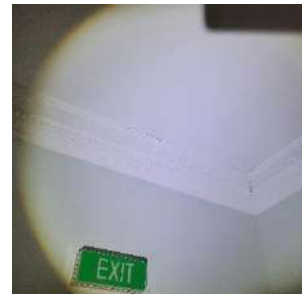
Location: ROOM G01			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	D	Large, stepped crack to both sides of north wall.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	20%	2	
East Wall	Masonry wall	D	Stepped crack at door frame corner along hallway wall. Some cracking to cornice at southeast corner.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	20%	2	
South Wall	Masonry wall	D	Cracking to south wall at corbel location near to adjacent hallway. Cracking extends to cornice and ceiling lining.	Repair cracking using Helifix bars extending above hallway door AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	10%	2	




Location: ROOM G01			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
<b>West Wall</b>	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	2	


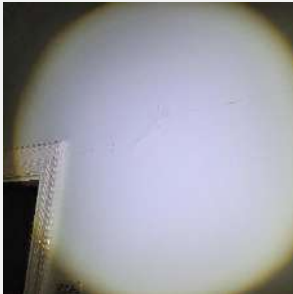
Location: ROOM G02			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	C	Dust entering from ceiling space on north wall suggesting separation of wall and ceiling lining.	Ensure cornice is in place after completion of required ceiling repairs.	20%	2	 
			Efflorescence visible at wall base adjacent window suggesting waterproofing issue.	Review suitability of damp proof course and repair as required. No significant structural issue was visible as a result of this.	10%	3	
East Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	




Location: ROOM G02			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
South Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	
West Wall	Masonry wall	B	Dust entering from ceiling space on north wall suggesting separation of wall and ceiling lining.	Ensure cornice is in place after completion of required ceiling repairs.  Monitor for cracking throughout foundation injection works.	100%	1	




Location: ROOM G03			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Ceiling	Plasterboard ceiling	C	Visible sag at the western end of the room and separation of moulding from ceiling lining.	Ensure additional loading from pigeon faeces is removed from ceiling. Inspect ceiling members and rectify sag by bolstering ceiling joists with an additional member spanning between support points.	10%	3	
North Wall	Masonry wall	C	Cracking visible at top of brickwork and at cornice near to exit door.	Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.	10%	3	 



Location: ROOM G03			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
East Wall	Masonry wall	C	Cornice cracking at north edge of window continuing over window. Minor cracking at window arch.	Review masonry beneath cornice and confirm. Cracking to cornice is considered non-structural.  Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.  Remove paint from window arch to investigate arch cracking. Cracking to mouldings is considered non-structural	10%	3	 
South Wall	Masonry wall	D	Near vertical crack full height of wall adjacent to door frame.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	10%	2	


Location: ROOM G03			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
West Wall	Masonry wall	D	<p>Cracking above door frame at southern end of wall.</p> <p>Horizontal cracking at top corner of door, stepping downward further from door frame.</p>	<p>Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.</p> <p>Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	15%	2	 




Location: ROOM G04			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	D	Cracking at northwest corner of room wrapping around west and north wall.	<p>Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.</p> <p>Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	10%	2	
East Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	
South Wall	Masonry wall	D	Cracking at southwest corner of room wrapping around west and north wall.	<p>Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	10%	2	




Location: ROOM G04			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
West Wall	Masonry wall	D	Cracking either side of doorway wrapping to north and south walls.	<p>Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	10%	2	





Location: ROOM G05			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	D	Large crack and loss of plaster on north wall	<p>Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	20%	2	
East Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	
South Wall	Masonry wall	C	Cracking to cornice above windows	<p>Review masonry under cornice for cracking.</p> <p>Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.</p> <p>Monitor crack widths throughout foundation injection works to ensure movement is corrective.</p>	10%	3	


Location: ROOM G05			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
							
<b>West Wall</b>	Studwork wall	B	No significant visible structural defects	Monitor for signs of stress throughout foundation injection works. Wall is not considered structural; however, confirmation of roof structure is required prior to removal.	100%	3	




Location: ROOM G06			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	D	Cracking diagonally upward toward eastern wall.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	40%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	
East Wall	Masonry wall	D	Cracking from door frame diagonally upward toward northern wall.  Vertical crack and southeast corner of room.	Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	




Location: ROOM G06			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
South Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	
West Wall	Masonry wall	C	Horizontal cracking present over window frame.	Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.	10%	3	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	


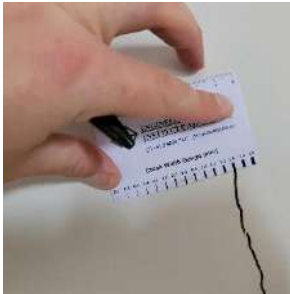
Location: ROOM G07			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	1	
East Wall	Masonry wall	D	Diagonal cracking upward from northern corner of door frame	Repair cracking using Helifix bars over doorway AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	
South Wall	Masonry wall	D	Cracking on wall above fireplace chamfer.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	






Location: ROOM G07			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
West Wall	Masonry wall	D	Stepped cracking from corner of fireplace chamfer wall downward toward northern wall.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
			Horizontal crack at southern top corner of window frame.	Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.			
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	


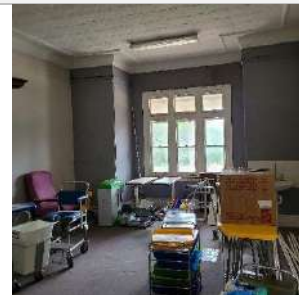

Location: ROOM G08			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	D	Cracking diagonally upward on both sides of northern window.	Repair cracking using Helifix bars wrapping around masonry corner and above window frame AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	20%	2	 
			Staggered internal crack from bottom corner of window to top corner of entry door.	Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	
East Wall	Masonry wall	D	Cracking north of door frame corner joining cracking at north wall.	Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.	5%	2	
			Cracking at southern top corner of door frame diagonally upward toward southern wall.	Repair cracking at southern doorframe corner with Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	



Location: ROOM G08			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
							
South Wall	Masonry wall	D	Diagonal cracking upward on western corner of door. Wrapping around to western wall.	Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.			
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	


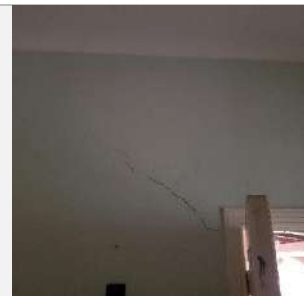
Location: ROOM G08			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
West Wall	Masonry wall	D	Cracking from southern wall continuing around western wall.	Repair cracking using Helifix bars AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	20%	2	 
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	

Location: ROOM G09			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
Ceiling	Pressed metal ceilings	B	Some points of corrosion on ceiling	Ensure all pigeon faeces has been removed from ceiling over. Avian faeces contains uric acid which is corrosive to unprotected metals. Ensure no roof leaks are present which may also contribute to corrosion.	2%	3	
				Corrosion appears surface level; however, in-ceiling investigation is recommended to confirm.			
North Wall	Masonry wall	D	Cracking on western corner of door frame wrapping around western wall to western window.	Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	


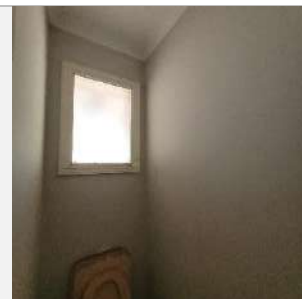


Location: ROOM G09			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
East Wall	Masonry wall	D	Vertical crack over eastern door frame becoming stepped and moving diagonally toward southern wall.	Repair cracking using Helifix bars over door frame AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	10%	2	
			Stepped cracking in wall toward southern wall.	Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	
South Wall	Masonry wall	C	Cracking and separation of cornice over window.	Locally remove failed masonry elements and replace AFTER foundations have been repaired and building stormwater system has been repaired.	2%	3	 
			Cracking and displacement at re-entrant masonry corner adjacent to window	Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	

Location: ROOM G09			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
West Wall	Masonry wall	D	Evidence of stress to plaster and paintwork at southern corner of window.	Remove paint to monitor stressed location during foundation repairs.	10%	1	
			Cracking between north wall door and west wall window multiple cracks present adjacent to window.	Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	5%	2	
				Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.	5%	2	
				Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	

Location: ROOM G10			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
East Wall	Masonry wall	D	Vertical crack at wall corner adjacent to fireplace chamfer.  Horizontal crack at northern corner of door frame.	Repair cracking using Helifix bars wrapping around masonry corner AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	15%	2	
				Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	
South Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
West Wall	Masonry wall	D	Crack diagonally upward from southern corner of door frame.	Repair cracking using Helifix bars extending over door frame AFTER foundations have been repaired and building stormwater system has been repaired. Repoint masonry with suitable mortar.	20%	2	
				Repair horizontal cracking with like-for-like repointing. Undertake mortar testing to confirm existing mortar type.  Monitor crack widths throughout foundation injection works to ensure movement is corrective.	100%	1	

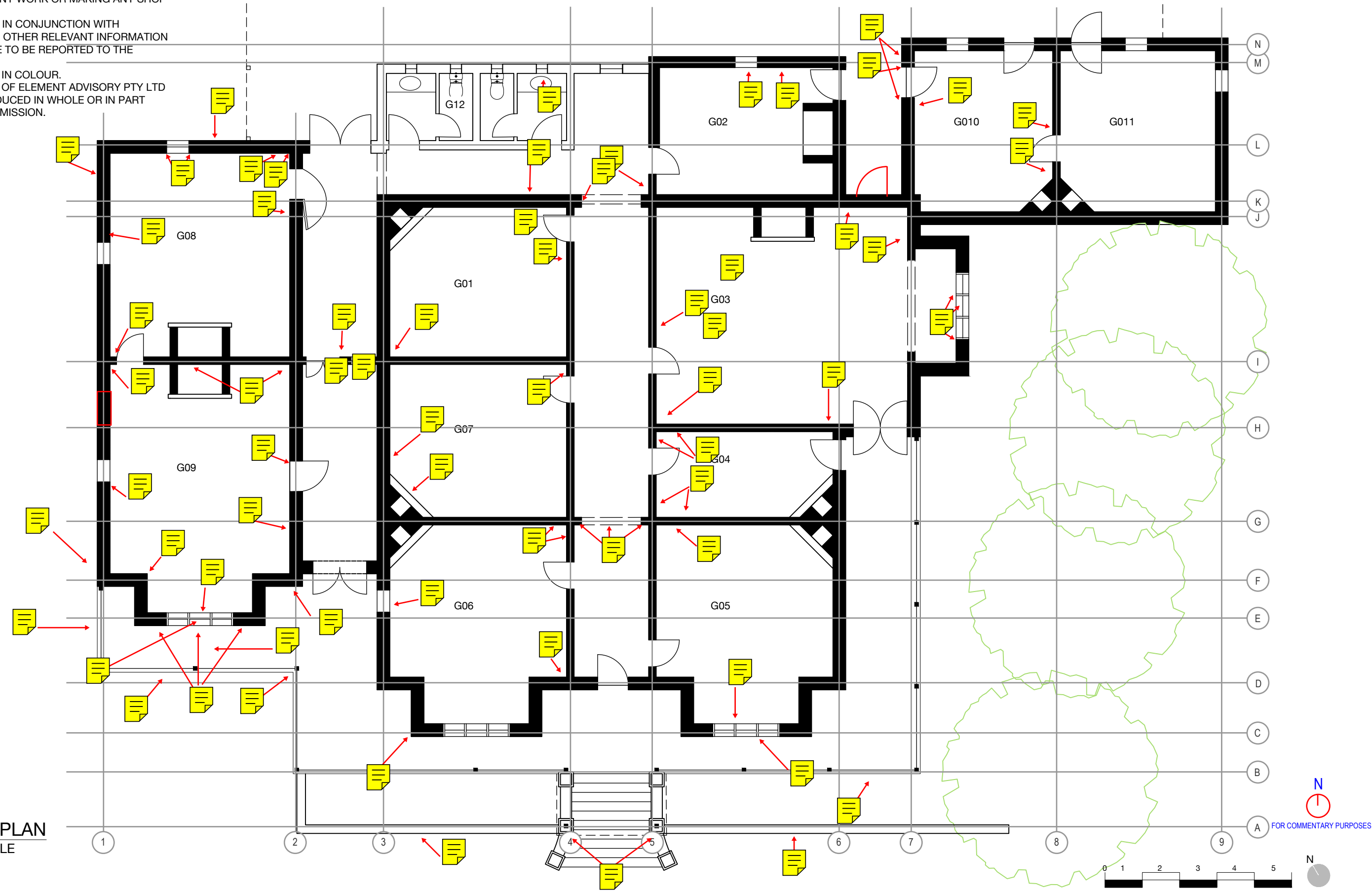
Location: ROOM G11			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
East Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
South Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
West Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	

Location: ROOM G12			Building Number: B-01 Undercliffe House				
Area	Description	Condition	Defect Location	Work to Rectify Defect	Extent	Priority Ranking	Typical Image
North Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
East Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
South Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	
West Wall	Masonry wall	B	No significant visible structural defects	Monitor for cracking throughout foundation injection works.	100%	4	

## **Appendix A General Arrangement and Site Notes**



- GENERAL NOTES:**
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SKETCH PLAN  
NOT TO SCALE

"UNDERCLIFFE"  
REGIS GREENMOUNT  
22 COONGAN AVE, GREENMOUNT

DRAWING NUMBER: SK 01  
**DRAFT**  
ISSUED FOR SITE MARKUP

Project: "UNDERCLIFFE"  
Drawing Title: SKETCH PLAN  
Date: NOV 2023  
Client: REGIS AGED CARE PTY LTD  
Job No: 23-378

Drawing No: SK 01  
Scale@A3: NTS  
Drawn: KH  
Checked: NM  
Revision: A

**Ac OR**  
CONSULTANTS  
KJ - Sketch 17/11/2023

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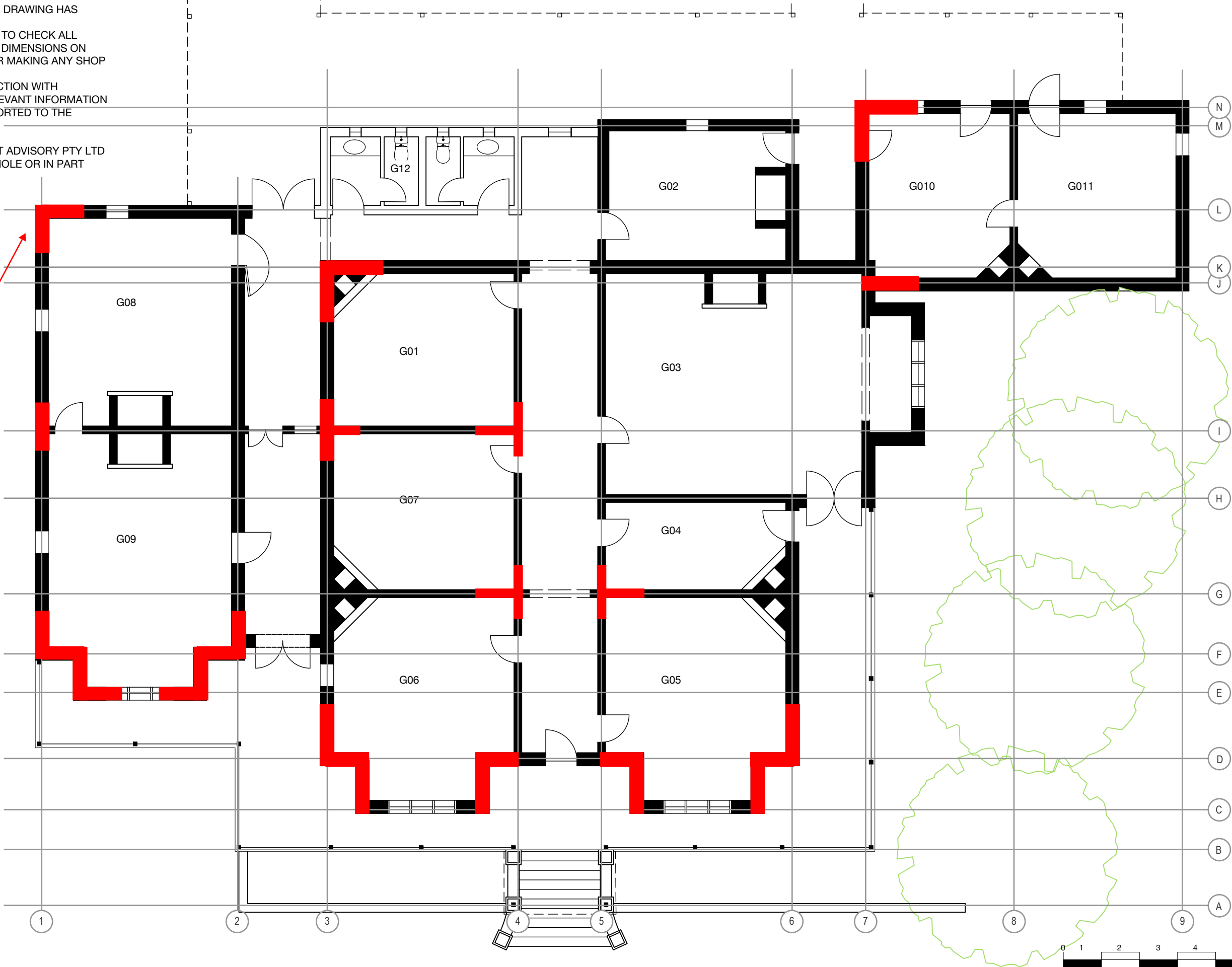
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RED AREAS DENOTE ESTIMATED LOCATIONS OF GROUT INJECTION.

A DETAILED FOUNDATION SURVEY IS REQUIRED PRIOR TO WORKS COMMENCING.

MONITOR WALLS FOR CRACKING DURING RESIN INJECTION AND HALT WORK IF CRACKING IS FOUND TO BE WIDENING OR NEW CRACKING FORMS.



SKETCH PLAN  
NOT TO SCALE

"UNDERCLIFFE"  
REGIS GREENMOUNT  
22 COONGAN AVE, GREENMOUNT

DRAWING NUMBER: SK 01  
**DRAFT**  
ISSUED FOR SITE MARKUP

Project: "UNDERCLIFFE"  
Drawing Title: SKETCH PLAN  
Date: NOV 2023  
Client: REGIS AGED CARE PTY LTD  
Job No: 23-378

Drawing No: SK 01  
Scale@A3: NTS  
Drawn: KH  
Checked: NM  
Revision: A

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SKETCH PLAN  
NOT TO SCALE

"UNDERCLIFFE"  
REGIS GREENMOUNT  
22 COONGAN AVE, GREENMOUNT

DRAWING NUMBER: SK 01  
**DRAFT**  
ISSUED FOR SITE MARKUP

Project: "UNDERCLIFFE"  
Drawing Title: SKETCH PLAN  
Date: NOV 2023  
Client: REGIS AGED CARE PTY LTD  
Job No: 23-378

Drawing No: SK 01  
Scale@A3: NTS  
Drawn: KH  
Checked: NM  
Revision: A

**ACOR**  
CONSULTANTS  
KJ - Sketch 17/11/2023

**element.**  
Level 18, 191 St Georges Terrace, Perth Western Australia 6000.  
PO Box 7375 Cloisters Square, Perth Western Australia 6850.  
T. +61 8 9289 8300 | E. hello@elementwa.com.au elementwa.com.au

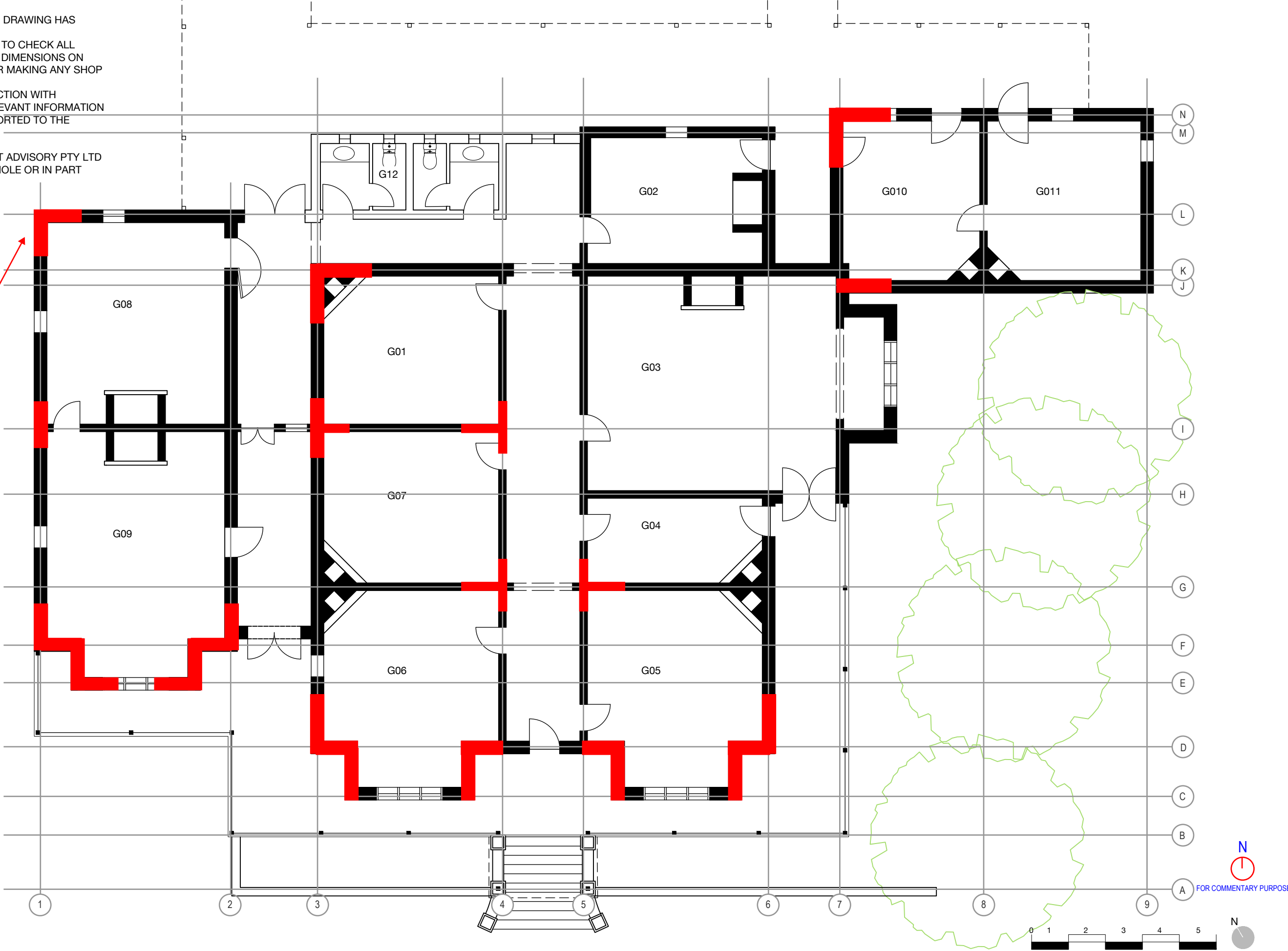
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RED AREAS DENOTE ESTIMATED LOCATIONS OF GROUT INJECTION.

A DETAILED FOUNDATION SURVEY IS REQUIRED PRIOR TO WORKS COMMENCING.

MONITOR WALLS FOR CRACKING DURING RESIN INJECTION AND HALT WORK IF CRACKING IS FOUND TO BE WIDENING OR NEW CRACKING FORMS.



"UNDERCLIFFE"  
REGIS GREENMOUNT  
22 COONGAN AVE, GREENMOUNT

DRAWING NUMBER: SK 01  
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## Appendix C: Quantity Surveyor Costing





20 December 2023

Element  
L18, 191 St Georges Terrace  
Perth WA 6000

**Attention: Alana Jennings**

Dear Alana,

**UNDERCLIFFE HOUSE – CONSERVATION WORKS  
INDICATIVE COST ESTIMATE – ITEMISED COST ESTIMATE**

We have reviewed the drawings and scope for the proposed conservation works outlined in the conservation management strategy completed by Element and the structural condition assessment completed by Acor for the Undercliffe House at 22 Coongan Avenue, Greenmount. Please find attached a copy of the Priority Scope Breakdown Cost Schedule and detailed estimate.

The following cost summary outlines all works identified within each of the Priority Rankings (1-5), as outlined within the CMS and Structural reports. These values are inclusive of proportional preliminaries, and associated project costs:

**Conservation Management Strategy**

**Priority Schedule**

Urgent	\$285,000
Short Term – External	\$217,000
Short Term – Internal	\$378,000
Medium Term – External	\$173,000
Medium Term – Internal	\$188,000
Long Term – External	\$66,000
Long Term – Internal	\$128,000
Desirable	\$86,000

The following contractor and project costs have been applied, with escalation applicable based upon proposed implementation period:

- Preliminaries 25%
- Design Contingency 15%
- Construction Contingency 15%
- Authority Costs 0.5%
- Professional Fees 12%
- Management Fees/Client Costs 7 %
- Escalation Urgent 2.4% (6 months), Short Term 4.8% (1 year), Medium Term 9.3% (2 years), Long Term 13.2% (3 years), Desirable 16.2% (4 years)

No advice has been received from electrical, hydraulic, and mechanical consultants, and as such we have priced these trades base upon similar projects.

We also note the following qualifications;

- Relocation and storage of the existing loose furniture and equipment has been excluded and assumed to be completed by the client prior to conservation works commencing.
- The estimate has been complied with the assumption that all conservation management strategy work items within each of the implementation periods being completed as one package, should this not be the case and work items are completed separately or in smaller packages additional contractor and project costs would be applicable.
- The measurement are based upon the quantities and percentages given in the Scope of Works excel spreadsheet.
- Due to the high level nature of this investigation, our estimate is based upon assumptions of scope, generally outlined withing the detailed estimate.
- Escalation has been calculated based upon the AIQS forecast indices.
- Loose furniture & equipment, computing service & equipment, commissioning, relocation costs & disbursements and GST have all been excluded.

Whilst every effort has been made to produce an estimate that reflects fair and current market pricing, the industry is currently highly volatile. Shortages of tradesman and materials are creating significant fluctuations and may impact subcontractor pricing.

We trust this meets with your current needs.

Yours sincerely,



**Liam Tomlin**

**UNDERCLIFFE HOUSE  
CONSERVATION MANAGEMENT  
STRATEGY**

**APPENDIX A**

**PRIORITY SCOPE BREAKDOWN**

Undercliffe House, Conservation Management Strategy

Priority Scope Breakdown

The following recommended conservation works for the place are presented in priority order. The schedule was prepared based a visual inspection of the place carried out by element and Acor structural consultants in november 2023.

Where the condition of building fabric is described, this refers to the condition of significant architectural elements that can be ascertained by visual inspection. It is not a statement of structural condition other than where specialist advice has been provided by the structural engineer. It is in no way a certification of the inspected structure to the requirements of any acts or regulations. It is a reasonable attempt to identify any significant defects apparent at the time of the inspection which does not include areas that are concealed or obstructed.

Scope of Works	Notes	Time (Year)	Unit	Qty	Rate	Cost
1. URGENT						
Review roof cladding, flashings, eaves and chimneys to identify all points of pigeon ingress, repair and block access points and prevent ongoing occupation of roof spaces	Assumed access points are somewhere within central roof valley and chimneys adjacent to rooms G-06 and G-07. Allow for inspection of entire roof but likely repair of 10% of roof covering/flashings	0	m2	440		\$ 12,200
Remove pigeon droppings from all roof spaces to reduce loading to ceilings		0	%	100		\$ 11,000
Following removal of pigeons and droppings, prop and restrap ornate ceilings to G-03, G-05 and G-06, bolstering with additional ceiling joist members between support points if required. Refix cornices before making good finishes like-for-like		0	Item	3		\$ 31,150
Refix and refinish ornate pressed metal ceilings to G-08 and G-09. Brush back areas of corrosion and make good finishes like-for-like. Allow to repaint both sides		0	Item	2		\$ 11,200
Survey foundations and identify areas of subsidence. Subsidence should be stabilised via resin injection in targeted locations following the detailed survey. Significant subsidence may require underpinning or the installation of new foundations. Monitor all walls for movement during works and to ensure action is corrective	Refer also to structural plan and footings line items	0	%	100		\$ 21,500
Replace corroded and missing downpipes and ensure water is directed away from the building		0	%	30		\$ 5,000
Clean all gutters of organic material and replace all rusted out or deteriorated sections	Inspect and clean 100% but allow for partial replacement	0	%	10		\$ 9,000
South elevation - Repair cracking using Helifix bars and refinish to match existing.	Refer also to structural report - south elevation walls	0	%	20		\$ 10,000
South elevation - Significant cracks will require some masonry replacement. Minor cracking may be repaired with Helifix bars . Repoint masonry with suitable mortar and refinish to match existing.	Refer also to structural report - south elevation verandah walls	0	%	50		\$ 10,000
Undertake detailed termite inspection, remove significantly deteriorated decking boards to western end of verandah to facilitate underfloor access, replace to match existing like-for-lie following repairs to rainwater drainage system	Refer also to structural report - decking boards and verandah structure	0	%	15		\$ 12,050
Known plumbing leak within garden bed adjacent to the eastern edge of the heritage building. Isolate and repair plumbing issues before undertaking any repairs to damp affected areas of brickwork or internal finishes		0	Item	1		\$ 7,500
Preliminaries 25%						\$ 35,400
Subtotal						\$ 176,000
Design Contingency 15%			Item			\$ 27,000
Construction Contingency 15%			Item			\$ 27,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 28,000
Client Costs 7%			Item			\$ 19,000
Escalation 6 months, 2.4%			Item			\$ 7,000
Total						\$ 285,000
2a. SHORT TERM - EXTERNAL						
North elevation - Repair cracking using Helifix bars and refinish to match existing.	Refer also to structural report - north elevation walls	1	%	15		\$ 9,000
North elevation - Repair low level brickwork and pointing decay to match like-for-like		1	%	10		\$ 2,000
East elevation - Repair low level brickwork and pointing decay to match like-for-like		1	%	10		\$ 6,000
East elevation - Clean back organic growth and repair rendered window sill to match.Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting.Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes		1	Item	3		\$ 3,000
South elevation - Remove loose or drummy render around corroded window lintels. Brush back paint coatings and areas of corrosion. Apply two coats of zinc rich protective coating and refinish to match like-for-like		1	Item	3	\$ 550	\$ 1,650
West elevation - Repair cracking using Helifix bars and refinish to match existing.	Refer also to structural report - west elevation walls	1	%	40		\$ 5,000
Undertake detailed structural inspection of all chimneys as part of roofing repairs. Clean back organic growth and repair any cracked, loose, or drummy render to match. Repoint masonry like-for-like and consider removal of paint from all face brick surfaces. Ensure all chimneys are adequately blocked to prevent water ingress		1	Item	7		\$ 11,750
Replace fascias and bargeboards deteriorated beyond repair to match like-for-like. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on original finishes	10% replacement/repair 100% repainting	1	%	100		\$ 15,000
Repair timber verandah columns to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match	10% replacement/repair 100% repainting	1	%	100		\$ 11,500
Retain and refinish timbers to southern decking, if any elements are found to be deteriorated beyond repair undertake like for like replacement before sanding decking timbers back to sound face and oiling		1	%	100		\$ 17,200
Install rainwater sump boxes at all downpipes connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building to avoid soil saturation. Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.		1	%	100		\$ 22,000
Preliminaries 25%			Item			\$ 26,900
Subtotal						\$ 131,000
Design Contingency 15%			Item			\$ 20,000
Construction Contingency 15%			Item			\$ 20,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 21,000
Client Costs 7%			Item			\$ 14,000
Escalation 12 months, 4.8%			Item			\$ 10,000
Total						\$ 217,000

<b>2b. SHORT TERM - INTERNAL</b>						
Repair cracking using Helifix bars, repoint and and refinish to match existing.	Refer to structural report for breakdown by room - percentage shown in column D is a general average of required repairs across all internal walls	1	%	20		\$ 80,000
Refix and refinish plain plasterboard ceilings and cornices to G-01, G-02, G-04, G-07, G-10, G-11 and G-12		1	Item	7		\$ 29,480
Remove and dispose of all carpet and linoleum floor coverings. Inspect all timber floors and underfloor areas, allowing for installation of three floor inspection hatches if required. Repair like-for-like and refinish timber floors	Provisional estimate for timber replacement 10%, allow to refinish all. Four rooms along northern edge are concrete floors and not included	1	%	100		\$ 62,850
Repair cracked glazing to one sash window in G-02		1	Item	1		\$ 600
Room G-03 (Also East elevation external) - Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting.Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	See External 2.04	1	Item	3		\$ -
Repair cracked glazing and deterioration to front entry door and feature surrounds	Glazing panels are highly significant, investigate ability to remove and refurbish offsite during corrective structural works to ensure they are protected. Replace cracked glass panels like-for-like and reinstate. Prepare and repaint framing to match	1	Item	1		\$ 5,000
Install smoke alarms throughout		1	%	100		\$ 4,000
Preliminaries 25%			Item			\$ 46,070
<b>Subtotal</b>						<b>\$ 228,000</b>
Design Contingency 15%			Item			\$ 35,000
Construction Contingency 15%			Item			\$ 35,000
Permits, fees & levys			Item			\$ 2,000
Professional Fees			Item			\$ 36,000
Client Costs 7%			Item			\$ 24,000
Escalation 12 months 4.8%			Item			\$ 18,000
<b>Total</b>						<b>\$ 378,000</b>
<b>3a. MEDIUM TERM- EXTERNAL</b>						
Replace corroded ridge flashing fixtures	Provisional 10% flashing and 100% ridge fixings to be replaced	3	%	100		\$ 2,700
Once roof space is clear undertake further detailed inspection of all structural framing. Bolster or replace defective members like-for-like as required	Provisional estimate of replacement	3	%	10		\$ 18,000
East elevation - Repair cracking using Helifix bars and refinish to match existing.	Refer also to structural report - east elevation walls	3	%	>10		\$ 1,500
Prepare and repaint all downpipes, with colour to match or based on original finishes		3	%	100		\$ 4,500
Refix and make good soffits and eaves. Prepare and repaint, with colour to match or based on original finishes		3	%	100		\$ 10,000
Make good windows to ensure watertightness. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	To all external windows not previously included under urgent or short term works	3	Item	15		\$ 14,500
Make good doors. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes	To all external doors	3	Item	10		\$ 7,000
Brush back corrosion to external breezeway gates, Apply two coats of zinc rich protective coating and refinish to match like-for-like		3	Item	1		\$ 1,500
Provide breathing strip between external wall face and any areas of hardscaping or landscaping		3	%	100		\$ 20,000
Preliminaries 25%						\$ 20,300
<b>Subtotal</b>						<b>\$ 100,000</b>
Design Contingency 15%			Item			\$ 15,000
Construction Contingency 15%			Item			\$ 15,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 16,000
Client Costs 7%			Item			\$ 11,000
Escalation 2 years, 9.3%			Item			\$ 15,000
<b>Total</b>						<b>\$ 173,000</b>
<b>3b. MEDIUM TERM- INTERNAL</b>						
Repoint and refinish low level render spalling to G-02		3	%	10		\$ 750
Repoint minor cracking and refinish like-for-like	Refer to structural report for breakdown by room - percentage shown in column D is a general average of required repairs across all internal walls	3	%	10		\$ 11,000
Remove paint to all doors that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes		3	Item	11		\$ 7,600
Undertake detailed electrical inspection and replace all light fittings to match		3	%	100		\$ 48,000
Reinstate and refinish timber hearth surrounds to G-01		3	Item	1		\$ 500
Replace deteriorated kitchenette fitout to G-02		3	Item	1		\$ 10,000
Remove existing carpet/linoleum to concrete slab areas, allow to replace with like for like			Item	1		\$ 7,540
Preliminaries 25%			Item			\$ 21,610
<b>Subtotal</b>						<b>\$ 107,000</b>
Design Contingency 15%			Item			\$ 17,000
Construction Contingency 15%			Item			\$ 17,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 18,000
Client Costs 7%			Item			\$ 12,000
Escalation 2 years, 9.3%			Item			\$ 16,000
<b>Total</b>						<b>\$ 188,000</b>
<b>4a. LONG TERM- EXTERNAL</b>						
Reposition masonry turn out and fix into position N10 dowel bars against existing masonry piers. Alternatively, tooth in new stair turnouts to ensure appropriate connection between masonry elements in place of apparent vertical joint.		4	Item	2		\$ 5,000
Excavate around in ground verandah stirrups to expose steelwork and confirm no corrosion is present to steel fixing. Repair if required		4	%	100		\$ 7,000
Undertake detailed inspection of verandah structure and replace or reinforce as required		4	%	100		\$ 16,000
Preliminaries 25%			Item			\$ 7,000
<b>Subtotal</b>						<b>\$ 35,000</b>
Design Contingency 15%			Item			\$ 6,000
Construction Contingency 15%			Item			\$ 6,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 6,000
Client Costs 7%			Item			\$ 4,000
Escalation 3 years, 13.2%			Item			\$ 8,000
<b>Total</b>						<b>\$ 66,000</b>
<b>4a. LONG TERM- INTERNAL</b>						
Recast and replace missing corbel moulding to G-01		4	Item	1		\$ 800
Remove timber stud wall to G-05 and make good finishes		4	Item	1		\$ 5,000
Replace worn bathroom fitout to G-12		4	%	100		\$ 50,000
Preliminaries 25%			Item			\$ 14,200
<b>Subtotal</b>						<b>\$ 70,000</b>
Design Contingency 15%			Item			\$ 11,000
Construction Contingency 15%			Item			\$ 11,000
Permits, fees & levys			Item			\$ 1,000
Professional Fees			Item			\$ 12,000



Client Costs 7%			Item			\$	8,000
Escalation 3 years, 13.2%			Item			\$	15,000
Total						\$	128,000
5. DESIRABLE							
Remove boarding and reinstate chimney functionality	To all - four double flue and three single		Item	7		\$	32,000
Remove airconditioning wall units and make good			Item	3	\$ 750	\$	2,250
Remove wall sinks to G-04 and G-09 and make good			Item	2	\$ 600	\$	1,200
Remove space heaters			Item	2	\$ 500	\$	1,000
Preliminaries 25%			Item			\$	9,550
Subtotal						\$	46,000
Design Contingency 15%			Item			\$	7,000
Construction Contingency 15%			Item			\$	7,000
Permits, fees & levys			Item			\$	1,000
Professional Fees			Item			\$	8,000
Client Costs 7%			Item			\$	5,000
Escalation 4 years 16.2%			Item			\$	12,000
Total						\$	86,000

**UNDERCLIFFE HOUSE  
CONSERVATION MANAGEMENT  
STRATEGY**

**APPENDIX B**

**DETAILED BREAKUP**

# Full Estimate Summary

<b>Job Name :</b>	<u>CAPEX COST ESTIMATE</u>	<b>Job Description</b>
<b>Client's Name:</b>	<u>Element</u>	Undercliffe House - Conservation Works

Trd No.	Trade Description	Trade %	Cost/m2	Sub Total	Mark Up %	Trade Total
	1. URGENT	18.74		285,000		285,000
	2A. SHORT TERM - EXTERNAL	14.27		217,000		217,000
	2B. SHORT TERM - INTERNAL	24.85		378,000		378,000
	3A. MEDIUM TERM - EXTERNAL	11.37		173,000		173,000
	3B. MEDIUM TERM - INTERNAL	12.36		188,000		188,000
	4A. LONG TERM - EXTERNAL	4.34		66,000		66,000
	4B. LONG TERM - INTERNAL	8.42		128,000		128,000
	5. DESIRABLE	5.65		86,000		86,000
		<b>100.00</b>		<b>1,521,000</b>		<b>1,521,000</b>
<b>Final Total : \$</b>						<b>1,521,000</b>

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 1 <u>1. URGENT</u>						
1	Removal of existing stored loose furniture and equipment - Excluded, assumed to be completed by the client prior to works comencing		Note			
	<u>1.01</u>					
2	1.01.1 - Inspection	1.00	Item	1,200.00		1,200.00
3	1.01.2 - Replace/repair 10% of roof coverings	44.00	m2	250.00		11,000.00
4						
	<u>1.02</u>					
5	1.02 - Pigeon droppings	1.00	m2	11,000.00		11,000.00
6						
	<u>1.03</u>					
7	1.03 - Repair ceilings and repaint (plasterglass)	89.00	m2	350.00		31,150.00
8						
	<u>1.04</u>					
9	1.04 - Pressed metal ceilings	56.00	m2	200.00		11,200.00
10						
	<u>1.05</u>					
11	1.05.1 - Detailed survey		Item			5,000.00
12	1.05.2 - Foundation stabilisation	1.00	Item	16,500.00		16,500.00
13						
	<u>1.06</u>					
14	1.06 - Replace downpipes - Assume welded galvanised downpipes, allow 30% replacement	1.00	Item	5,000.00		5,000.00
15						
	<u>1.07</u>					
16	1.07.01 - Clean and inspect gutters	1.00	Item	3,000.00		3,000.00
17	1.07.02 - Replace 10% of gutters	1.00	Item	6,000.00		6,000.00
18						
	<u>1.08</u>					
19	1.08 - Repair cracking south elevation walls, allow to repaint entire wall - Assume 3m high allow 20% of wall	1.00	Item	10,000.00		10,000.00
20						
	<u>1.09</u>					

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 1 <u>1. URGENT</u>						(Continued)
21	1.09 - Repair cracking to south elevation verandah walls, allow to repaint entire wall - assume 1.2m high allow 50% of wall	1.00	Item	10,000.00		10,000.00
22						
	<u>1.10</u>					
23	1.10.1 - Termite inspection		Item			1,500.00
24	1.10.2 - Replace decking boards - allow 15%	13.00	m2	350.00		4,550.00
25	1.10.3 - Replace damaged sections of decking substructure	1.00	Item	6,000.00		6,000.00
26						
	<u>1.11</u>					
27	1.11 - Allow for invasive inspection to locate and repair plumbing leak		Item			7,500.00
28	Subtotal					<u>140,600.00</u>
29	Preliminaries 25%		Item			35,400.00
30	Subtotal - 1. Urgent					<u>176,000.00</u>
31	Design contingency 15%		Item			27,000.00
32	Construction contingency 15%		Item			27,000.00
33	Permits, fees & levys		Item			1,000.00
34	Loose furniture & equipment - Excluded		Note			
35	Commissioning, relocation costs & disbursements - Excluded		Note			
36	Computing services & equipment - Excluded		Note			
37	Professional fees 12%		Item			28,000.00
38	Client costs 7%		Item			19,000.00
39	Escalation 6 months, 2.4%		Item			7,000.00
40	GST - Excluded		Note			
41	Subtotal					<u>109,000.00</u>
42	Total - 1. Urgent					<u>285,000.00</u>
<u>1. URGENT</u>					Total :	285,000.00
Trade : 2 <u>2A. SHORT TERM - EXTERNAL</u>						
	<u>External</u>					
	<u>2.01</u>					

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 2 <u>2A. SHORT TERM - EXTERNAL</u>						(Continued)
1	2.01 - North elevation crack repair, allow to repaint entire wall - assume 3m high allow 15% of wall	1.00	Item	9,000.00		9,000.00
2						
	<u>2.02</u>					
3	2.02 - North elevation repoint low level brickwork, see 2.01 for painting - allow 10% of wall	1.00	Item	2,000.00		2,000.00
4						
	<u>2.03</u>					
5	2.03 - East elevation repoint low level brickwork, allow to repaint entire wall - allow 10% of wall	1.00	Item	6,000.00		6,000.00
6						
	<u>2.04</u>					
7	2.04 - East elevation clean, repair & repaint existing timber windows	1.00	Item	3,000.00		3,000.00
8						
	<u>2.05</u>					
9	2.05 - South elevation lintel repair	3.00	No	550.00		1,650.00
10						
	<u>2.06</u>					
11	2.06 - West elevation crack repair, allow to repaint entire wall - assume 3m high allow 40% of wall	1.00	Item	5,000.00		5,000.00
12						
	<u>2.07</u>					
13	2.07.01 - Structural inspection		Item			3,000.00
14	2.07.02 - Chimney repair	7.00	No	1,250.00		8,750.00
15						
	<u>2.08</u>					
16	2.08 - Repaint existing fascia and barge boards - allow 10% replacement	1.00	Item	15,000.00		15,000.00
17						
	<u>2.09</u>					
18	2.09 - Repaint existing verandah posts - allow 10% replacement	1.00	Item	11,500.00		11,500.00
19						
	<u>2.10</u>					
20	2.10.1 - Refinish existing southern verandah decking	65.00	m2	100.00		6,500.00



# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 2 <u>2A. SHORT TERM - EXTERNAL</u>						(Continued)
21	2.10.2 - Allow to replace damaged boards - assume 5% replacement	1.00	Item	1,200.00		1,200.00
22	2.10.3 - Patch and repair existing timber balustrade - allow to replace 20%	1.00	Item	7,000.00		7,000.00
23	2.10.4 - Patch and repaint existing decking fascia trim - allow to replace 20%	1.00	Item	2,500.00		2,500.00
24						
	<u>2.11</u>					
25	2.11.1 - Inspect existing sub-soil drainage system allow to remove blockages, allow to install new stormwater drainage as required	1.00	Item	20,000.00		20,000.00
26	2.11.2 - Install rainwater sump box to all downpipes	1.00	Item	2,000.00		2,000.00
27	Subtotal					<u>104,100.00</u>
28	Preliminaries 25%		Item			26,900.00
29	Subtotal - 2A Short Term External					<u>131,000.00</u>
30	Design contingency 15%		Item			20,000.00
31	Construction contingency 15%		Item			20,000.00
32	Permits, fees & levys		Item			1,000.00
33	Loose furniture & equipment - Excluded		Note			
34	Commissioning, relocation costs & disbursements - Excluded		Note			
35	Computing services & equipment - Excluded		Note			
36	Professional fees 12%		Item			21,000.00
37	Client costs 7%		Item			14,000.00
38	Escalation 12 months, 4.8%		Item			10,000.00
39	GST - Excluded		Note			
40	Subtotal					<u>86,000.00</u>
41	Total - 2A. Short Term External					<u>217,000.00</u>
<u>2A. SHORT TERM - EXTERNAL</u>						Total : 217,000.00
Trade : 3 <u>2B. SHORT TERM - INTERNAL</u>						
	<u>2.12</u>					
1	2.12 - Repair cracking using helifix bars, repoint and refinish - allow 20% of all internal walls, repaint all walls	1.00	Item	80,000.00		80,000.00
2						

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 3 <b><u>2B. SHORT TERM - INTERNAL</u></b>						(Continued)
	<a href="#">2.13</a>					
3	2.13.01 - Refix & refinish existing plasterboard ceilings	132.00	m2	70.00		9,240.00
4	2.13.02 - Allow to replace 20% of plasterboard ceilings	34.00	m2	200.00		6,800.00
5	2.13.03 - Ceiling insulation to throughout	336.00	m2	40.00		13,440.00
6						
	<a href="#">2.14</a>					
7	2.14.01 - Remove existing carpet/linoleum, inspect timber floors and refinish - allow 10% replacement	255.00	m2	180.00		45,900.00
8	2.14.02 - Inspect and repair subfloor structure as required	1.00	Item	15,000.00		15,000.00
9	2.14.03 - Install floor hatches for access to subfloor	3.00	No	650.00		1,950.00
10	2.14.04 - Remove existing carpet/linoleum to concrete slab areas, allow to replace with like for like - See 3.16 Medium Term - Internal		Note			
11						
	<a href="#">2.15</a>					
12	2.15 - Repair cracked glazing	1.00	No	600.00		600.00
13						
	<a href="#">2.16</a>					
14	2.16 - G-03 repair & repaint existing timber windows - See external 2.04		Note			
15						
	<a href="#">2.17</a>					
16	2.17 - Repair cracked glazing to front entry door	1.00	Item	5,000.00		5,000.00
17						
	<a href="#">2.18</a>					
18	2.18 - Install smoke alarms	1.00	Item	4,000.00		4,000.00
19	Subtotal					<u>181,930.00</u>
20	Preliminaries 25%		Item			46,070.00
21	Subtotal - 2B. Short Term Internal					<u>228,000.00</u>
22	Design contingency 15%		Item			35,000.00
23	Construction contingency 15%		Item			35,000.00
24	Permits, fees & levys		Item			2,000.00
25	Loose furniture & equipment - Excluded		Note			

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 3 <u>2B. SHORT TERM - INTERNAL</u>						(Continued)
26	Commissioning, relocation costs & disbursements - Excluded		Note			
27	Computing services & equipment - Excluded		Note			
28	Professional fees 12%		Item			36,000.00
29	Client costs 7%		Item			24,000.00
30	Escalation 12 months, 4.8%		Item			18,000.00
31	GST - Excluded		Note			
32	Subtotal					<u>150,000.00</u>
33	Total - 2B. Short Term Internal					<u>378,000.00</u>
<u>2B. SHORT TERM - INTERNAL</u>						Total : 378,000.00
Trade : 4 <u>3A. MEDIUM TERM - EXTERNAL</u>						
	<u>3.01</u>					
1	3.01 - Replace corroded roof cappings and fixings	1.00	Item	2,700.00		2,700.00
2						
	<u>3.02</u>					
3	3.02 - Repair/reinforce existing roof structure - allow for 10%	1.00	Item	18,000.00		18,000.00
4						
	<u>3.03</u>					
5	3.03 - East elevation crack repair - assume 3m high allow 10% of wall	1.00	Item	1,500.00		1,500.00
6						
	<u>3.04</u>					
7	3.04 - Prepare and paint existing downpipes	1.00	Item	4,500.00		4,500.00
8						
	<u>3.05</u>					
9	3.05 - Refix and repaint soffit	1.00	Item	10,000.00		10,000.00
10						
	<u>3.06</u>					
11	3.06 - Prepare, paint and make good remaining windows	1.00	Item	14,500.00		14,500.00
12						
	<u>3.07</u>					

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 4 <u>3A. MEDIUM TERM - EXTERNAL</u>						(Continued)
13	3.07 - Make good existing external doors allow to paint	1.00	Item	7,000.00		7,000.00
14						
	<u>3.08</u>					
15	3.08 - Prepare and repaint existing breezeway gates	1.00	No	1,500.00		1,500.00
16						
	<u>3.09</u>					
17	3.09 - Provide breathing strip between external walls and soft and hard landscaping	1.00	Item	20,000.00		20,000.00
18	Subtotal					<u>79,700.00</u>
19	Preliminaries 25%		Item			20,300.00
20	Subtotal - 3A. Medium Term					<u>100,000.00</u>
21	Design contingency 15%		Item			15,000.00
22	Construction contingency 15%		Item			15,000.00
23	Permits, fees & levys		Item			1,000.00
24	Loose furniture & equipment - Excluded		Note			
25	Commissioning, relocation costs & disbursements - Excluded		Note			
26	Computing services & equipment - Excluded		Note			
27	Professional fees 12%		Item			16,000.00
28	Client costs 7%		Note			11,000.00
29	Escalation 2 years, 9.3%		Item			15,000.00
30	GST - Excluded		Note			
31	Subtotal					<u>73,000.00</u>
32	Total - 3A. Medium Term					<u>173,000.00</u>
<u>3A. MEDIUM TERM - EXTERNAL</u>					Total :	173,000.00
Trade : 5 <u>3B. MEDIUM TERM - INTERNAL</u>						
	<u>3.10</u>					
1	3.10 - Repoint and refinish low level render spalling	1.00	Item	750.00		750.00
2						
	<u>3.11</u>					
3	3.11 - Repoint minor cracking and refinish	100.00	m2	110.00		11,000.00
4						

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 5 <u>3B. MEDIUM TERM - INTERNAL</u>						(Continued)
	<u>3.12</u>					
5	3.12 - Make good existing internal doors allow to paint	1.00	Item	7,600.00		7,600.00
6						
	<u>3.13</u>					
7	3.13.01 - Undertake electrical inspection		Item			3,000.00
8	3.13.02 - Replace light fittings including rewiring	1.00	Item	45,000.00		45,000.00
9						
	<u>3.14</u>					
10	3.14 - Reinstate existing timber hearth G-01	1.00	No	500.00		500.00
11						
	<u>3.15</u>					
12	3.15 - Replace kitchenette fitout	1.00	Item	10,000.00		10,000.00
13						
	<u>3.16</u>					
14	3.16 - Remove existing carpet/linoleum to concrete slab areas, allow to replace with like for like	52.00	m2	145.00		7,540.00
15	Subtotal					<u>77,850.00</u>
16	Preliminaries 25%		Item			21,610.00
17	Subtotal - 3B. Medium Term Internal					<u>107,000.00</u>
18	Design contingency 15%		Item			17,000.00
19	Construction contingency 15%		Item			17,000.00
20	Permits, fees & levys		Item			1,000.00
21	Loose furniture & equipment - Excluded		Note			
22	Commissioning, relocation costs & disbursements - Excluded		Note			
23	Computing services & equipment - Excluded		Note			
24	Professional fees 12%		Item			18,000.00
25	Client costs 7%		Note			12,000.00
26	Escalation 2 years, 9.3%		Item			16,000.00
27	GST - Excluded		Note			
28	Subtotal					<u>81,000.00</u>
29	Total - 3B. Medium Term Internal					<u>188,000.00</u>

# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
<u>3B. MEDIUM TERM - INTERNAL</u>						Total : 188,000.00
Trade : 6 <u>4A. LONG TERM - EXTERNAL</u>						
	<u>4.01</u>					
1	4.01 - Refix masonry piers at stairs	1.00	Item	5,000.00		5,000.00
2						
	<u>4.02</u>					
3	4.02 - Expose/repair in-ground post stirups - Assume 20% replacement	1.00	Item	7,000.00		7,000.00
4						
	<u>4.03</u>					
5	4.03 - Inspect verandah roof, replace/repair as required - Assume minor replacement/repair	1.00	Item	16,000.00		16,000.00
6	Subtotal					28,000.00
7	Preliminaries 25%		Item			7,000.00
8	Subtotal - 4A. Long Term - External					35,000.00
9	Design contingency 15%		Item			6,000.00
10	Construction contingency 15%		Item			6,000.00
11	Permits, fees & levys		Item			1,000.00
12	Loose furniture & equipment - Excluded		Note			
13	Commissioning, relocation costs & disbursements - Excluded		Note			
14	Computing services & equipment - Excluded		Note			
15	Professional fees 12%		Item			6,000.00
16	Client costs 7%		Item			4,000.00
17	Escalation 3 years, 13.2%		Item			8,000.00
18	GST - Excluded		Note			
19	Subtotal					31,000.00
20	Total - 4A. Long Term External					66,000.00
<u>4A. LONG TERM - EXTERNAL</u>						Total : 66,000.00
Trade : 7 <u>4B. LONG TERM - INTERNAL</u>						
	<u>4.04</u>					
1	4.04 - Recast and replace corbel moulding - G-01	1.00	No	800.00		800.00
2						



# Trade Breakup

Job Name : CAPEX COST ESTIMATE

Job Description

Client's Name: Element

Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : 7 <u>4B. LONG TERM - INTERNAL</u>						(Continued)
	<u>4.05</u>					
3	4.05 - Remove stud framed wall allow to make good	1.00	Item	5,000.00		5,000.00
4						
	<u>4.06</u>					
5	4.06 - Refurbish existing bathroom fitout	1.00	Item	50,000.00		50,000.00
6	Subtotal					<u>55,800.00</u>
7	Preliminaries 25%		Item			14,200.00
8	Subtotal - 4B. Long Term Internal					<u>70,000.00</u>
9	Design contingency 15%		Item			11,000.00
10	Construction contingency 15%		Item			11,000.00
11	Permits, fees & levys		Item			1,000.00
12	Loose furniture & equipment - Excluded		Note			
13	Commissioning, relocation costs & disbursements - Excluded		Note			
14	Computing services & equipment - Excluded		Note			
15	Professional fees 12%		Item			12,000.00
16	Client costs 7%		Item			8,000.00
17	Escalation 3 years, 13.2%		Item			15,000.00
18	GST - Excluded		Note			
19	Subtotal					<u>58,000.00</u>
20	Total - 4B. Long Term Internal					<u>128,000.00</u>
<u>4B. LONG TERM - INTERNAL</u>						Total : 128,000.00
Trade : 8 <u>5. DESIRABLE</u>						
	<u>5.01</u>					
1	5.01 - Reinstate chimney functionality	1.00	Item	32,000.00		32,000.00
2						
	<u>5.02</u>					
3	5.02 - Remove A/C wall units, allow to make good	3.00	No	750.00		2,250.00
4						
	<u>5.03</u>					
5	5.03 - Remove wall sinks, allow to make good	2.00	No	600.00		1,200.00

# Trade Breakup

<b>Job Name :</b>	<u>CAPEX COST ESTIMATE</u>	<b>Job Description</b>
<b>Client's Name:</b>	<u>Element</u>	Undercliffe House - Conservation Works

Item No.	Item Description	Quantity	Unit	Rate	Mark Up %	Amount
Trade : <b>8</b> <u>5. DESIRABLE</u>						(Continued)
<b>6</b>						
	<u>5.04</u>					
<b>7</b>	5.04 - Remove space heaters, allow to make good	2.00	No	500.00		1,000.00
<b>8</b>	Subtotal					<u>36,450.00</u>
<b>9</b>	Preliminaries 25%		Item			9,550.00
<b>10</b>	Subtotal - 5. Desirable					<u>46,000.00</u>
<b>11</b>	Design contingency 15%		Item			7,000.00
<b>12</b>	Construction contingency 15%		Item			7,000.00
<b>13</b>	Permits, fees & levys		Item			1,000.00
<b>14</b>	Loose furniture & equipment - Excluded		Note			
<b>15</b>	Commissioning, relocation costs & disbursements - Excluded		Note			
<b>16</b>	Computing services & equipment - Excluded		Note			
<b>17</b>	Professional fees 12%		Item			8,000.00
<b>18</b>	Client costs - 7%		Item			5,000.00
<b>19</b>	Escalation 4 years, 16.2%		Note			12,000.00
<b>20</b>	GST - Excluded		Note			
<b>21</b>	Subtotal					<u>40,000.00</u>
<b>22</b>	Total - 5. Desirable					<u>86,000.00</u>
<u>5. DESIRABLE</u>					<b>Total :</b>	<b>86,000.00</b>

# element.

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