



WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS BEFORE WORK STARTS. ALL WORK IS TO BE CARRIED OUT TO THE REQUIREMENTS AND SATISFACTION OF THE CURRENT BCA & NCC.

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

ANY DOUBT AS TO THE MEANING OR INTENTION OF THE INFORMATION ON THIS DOCUMENT SHALL BE CLARIFIED WITH THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

COPYRIGHT
THIS DOCUMENT AND ANY PART THEREOF IS THE COPYRIGHT OF LW ARCHITECTS PTY LTD AND MAY NOT BE REPRODUCED, STORED IN ANY RETRIEVAL SYSTEM, TRANSMITTED OR SHARED WITHOUT THEIR WRITTEN CONSENT.

Notes:

Client:

Architect:

L. 25 JANUARY ST
ARMADALE VIC 3143

Project:
**REGIS GREENMOUNT
PROPOSED 48 BED EXTN
REDEVELOPMENT**

Address:
9 COONGAN AVE
GREENMOUNT WA 6056

Project No.:
1093

Status:
DA/ TOWN PLANNING

REV.	DESCRIPTION	DATE
TP0	DA/ TOWNPLANNING	16/6/2025

Layout:

EXISTING SITE

Drawing Scale:
1. 400

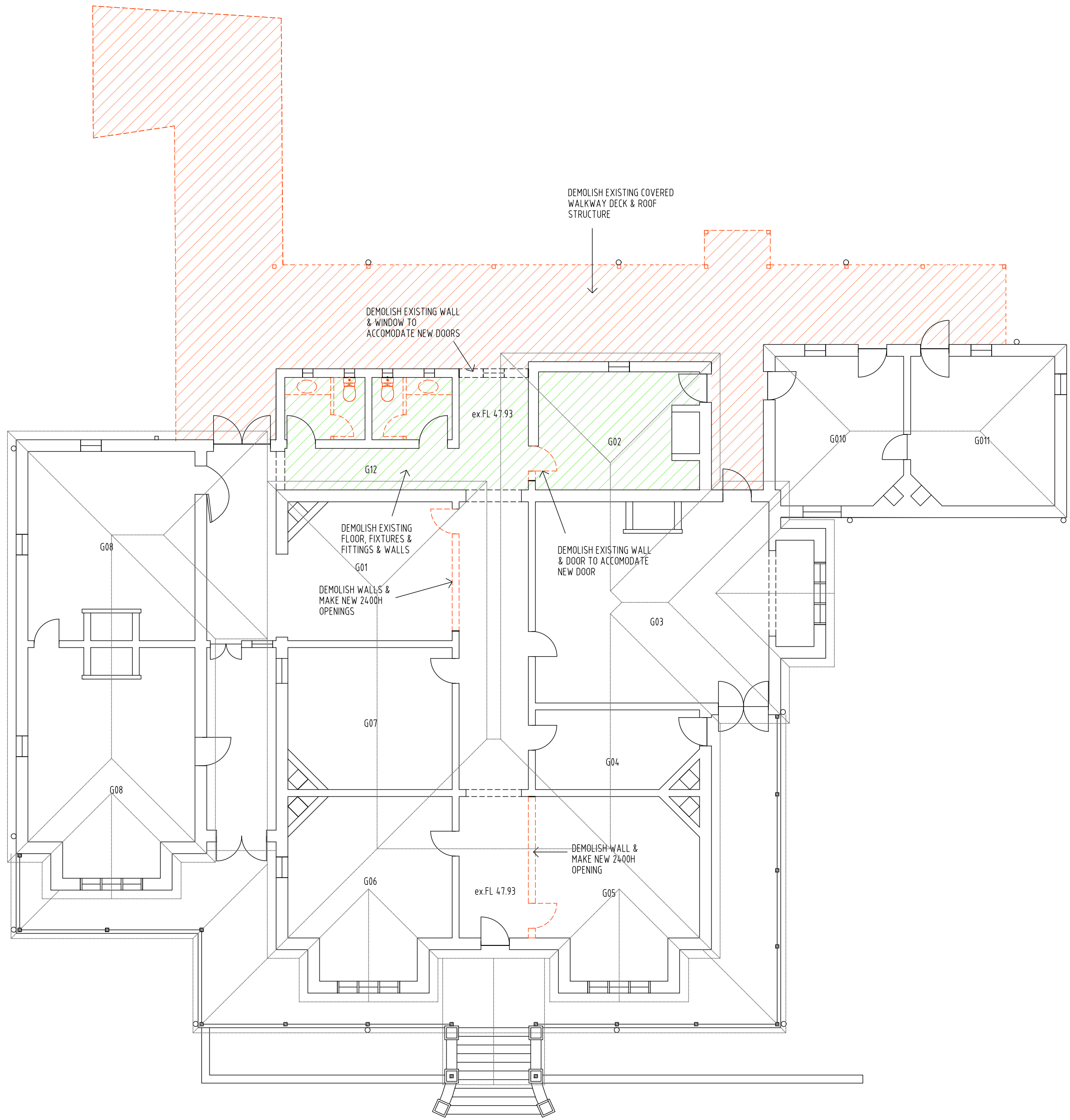
Sheet Size:
A1

Drawn By:
AL/FX

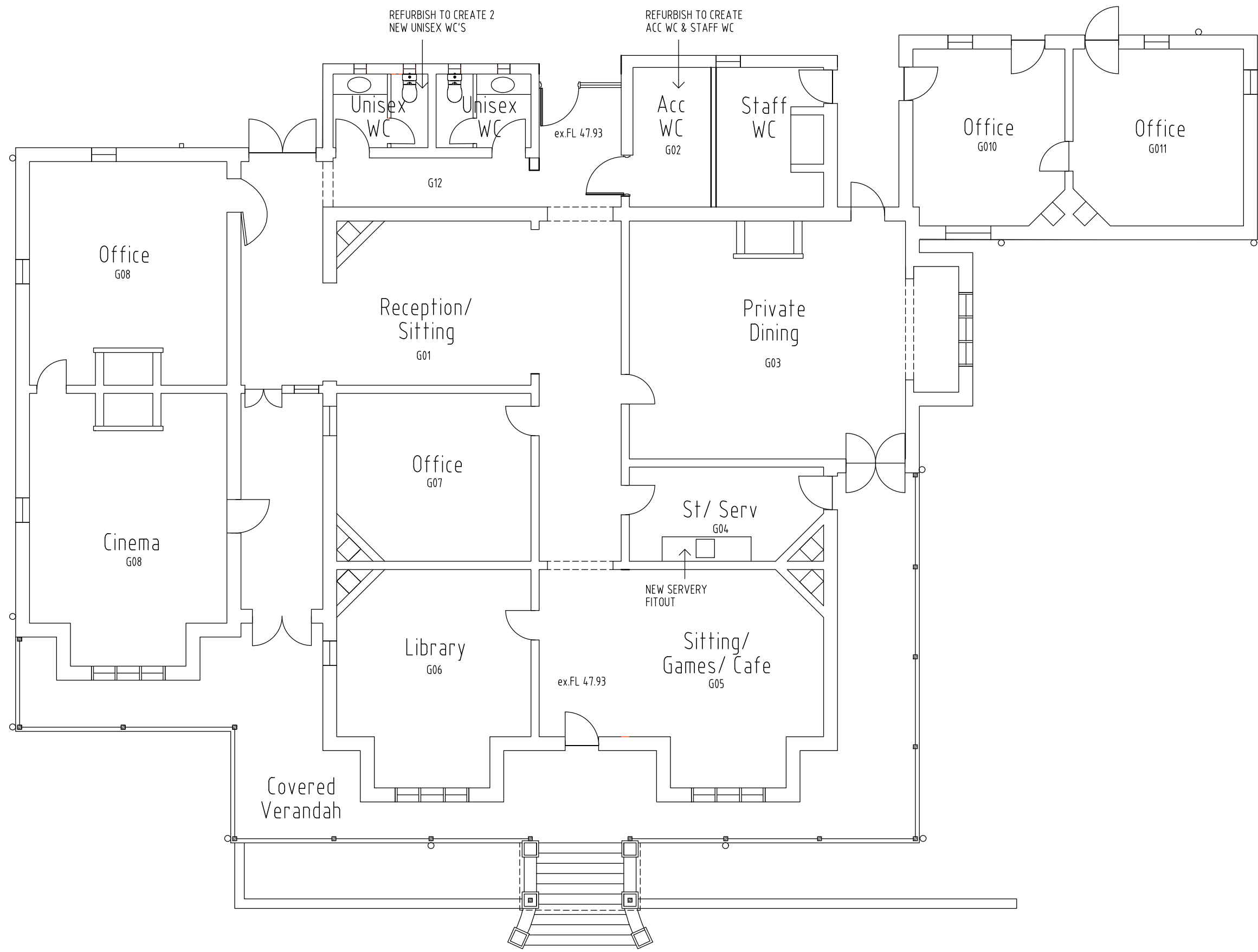
Checked By:
PL

Drawing No:
TP1.001

Revision:
TP0



DEMOLITION PLAN
1.100



PROPOSED FLOOR PLAN
1.100

Proposed Undercliffe Restoration & Maintenance Works

- Review roof cladding, flashings, eaves and chimneys to identify all points of pigeon ingress, repair and block access points and prevent ongoing occupation of roof spaces
- Remove pigeon droppings from all roof spaces to reduce loading to ceilings
- Following removal of pigeons and droppings, prop and restrap ornate ceilings to G-03, G-05 and G-06, bolstering with additional ceiling joist members between support points if required. Refix cornices before making good finishes like- for-like
- Refix and refinish ornate pressed metal ceilings to G-08 and G-09. Brush back areas of corrosion and make good finishes like-for-like. Allow to repaint both sides
- Survey foundations and identify areas of subsidence. Subsidence should be stabilised via resin injection in targeted locations following the detailed survey. Significant subsidence may require underpinning or the installation of new foundations. Monitor all walls for movement during works and to ensure action is corrective
- Replace corroded and missing downpipes and ensure water is directed away from the building
- Clean all gutters of organic material and replace all rusted out or deteriorated sections
- South elevation - Repair minor cracking using Helifix bars and refinish to match existing.
- South elevation - Significant cracks will require some masonry replacement. Repoint masonry with suitable mortar and refinish to match existing.
- Undertake detailed termite inspection, remove significantly deteriorated decking boards to western end of verandah to facilitate underfloor access, replace to match existing like-for-ile following repairs to rainwater drainage system
- Known plumbing leak within garden bed adjacent to the eastern edge of the heritage building. Isolate and repair plumbing issues before undertaking any repairs to damp affected areas of brickwork or internal finishes
- North elevation - Repair cracking using Helifix bars and refinish to match existing
- North elevation - Repair low level brickwork and pointing decay to match like-for-like
- East elevation - Repair low level brickwork and pointing decay to match like-for-like
- East elevation and G-03 internal - Clean back organic growth and repair rendered window sill to match. Make good windows to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice

in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes

- South elevation - Remove loose or drummy render around corroded window lintels. Brush back paint coatings and areas of corrosion. Apply two coats of zinc rich protective coating and refinish to match like-for-like
- West elevation - Repair cracking using Helifix bars and refinish to match existing
- Undertake detailed structural inspection of all chimneys as part of roofing repairs. Clean back organic growth and repair any cracked, loose, or drummy render to match. Repoint masonry like-for-like and consider removal of paint from all face brick surfaces. Ensure all chimneys are adequately blocked to prevent water ingress
- Replace fascias and bargeboards deteriorated beyond repair to match like-for-like. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on original finishes
- Repair timber verandah columns to match like-for-like. Where joinery is deteriorated beyond salvage, seek to utilise resin repairs or splice in new sections of timber rather than replacing. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match
- Retain and refinish timbers to southern decking, if any elements are found to be deteriorated beyond repair undertake like for like replacement before sanding decking timbers back to sound face and oiling
- Install rainwater sump boxes at all downpipes connected to a piped sub-soil drainage system to ensure all roof runoff is taken away from the building to avoid soil saturation. Undertake a CCTV pipe inspection to confirm drainage pathway and rectify blockages and outflow locations as required.
- Undercliffe Conservation Management Strategy 32**
- Repair internal cracking using Helifix bars where noted in structural report, repoint and refinish to match existing.
- Refix and refinish plain plasterboard ceilings and cornices to G-01, G-02, G-04, G-07, G-10, G-11 and G-12
- Remove and dispose of all carpet and linoleum floor coverings. Inspect all timber floors and underfloor areas, allowing for installation of three floor inspection hatches if required. Repair like-for-like and refinish timber floors
- Repair cracked glazing to one sash window in G-02
- Repair cracked glazing and deterioration to front entry door and feature surrounds, ensure protection during any structural works
- Install smoke alarms throughout

- Replace corroded ridge flashing fixtures
- Once roof space is clear undertake further detailed inspection of all structural framing. Bolster or replace defective members like-for-like as required
- East elevation - Repair cracking using Helifix bars and refinish to match existing.
- Prepare and repaint all downpipes, with colour to match or based on original finishes
- Refix and make good soffits and eaves. Prepare and repaint, with colour to match or based on original finishes
- Make good windows to ensure watertightness. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes
- Make good doors externally and internally. Remove paint that is loose and friable back to sound face to allow repainting. Prepare and repaint, with colour to match or based on paint scrape analysis of original finishes
- Brush back corrosion to external breezeway gates, Apply two coats of zinc rich protective coating and refinish to match like-for-like
- Provide breathing strip/air drain between external wall face and any areas of hardscaping or landscaping
- Repoint and refinish low level render spalling to G-02
- Repoint minor internal cracking as identified in structural report and refinish like-for-like
- Undertake detailed electrical inspection and replace all light fittings to match
- Reinstate and refinish timber hearth surrounds to G-01
- Replace deteriorated kitchenette fitout to G-02
- Reposition masonry stair turn out and fix into position N10 dowel bars against existing masonry piers. Alternatively, tooth in new stair turnouts to ensure appropriate connection between masonry elements in place of apparent vertical joint.
- Excavate around in ground verandah stirrups to expose steelwork and confirm no corrosion is present to steel fixing. Repair if required
- Undertake detailed inspection of verandah structure and replace or reinforce as required
- Recast and replace missing corbel moulding to G-01
- Remove timber stud wall to G-05 and make good finishes

- Replace worn bathroom fitout to G-12
- Remove boarding and reinstate chimney functionality
- Remove airconditioning wall units and make good
- Remove wall sinks to G-04 and G-09 and make good
- Remove space heaters

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS BEFORE WORK STARTS.

ALL WORK IS TO BE CARRIED OUT TO THE REQUIREMENTS AND SATISFACTION OF THE CURRENT BCA & NCC.

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

ANY DOUBT AS TO THE MEANING OR INTENTION OF THE INFORMATION ON THIS DOCUMENT SHALL BE CLARIFIED WITH THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

COPYRIGHT
THIS DOCUMENT AND ANY PART THEREOF IS THE COPYRIGHT OF LW ARCHITECTS PTY LTD AND MAY NOT BE REPRODUCED, STORED IN ANY RETRIEVAL SYSTEM, TRANSMITTED OR SHARED WITHOUT THEIR WRITTEN CONSENT.

Notes:

Client:



Architect:



LW ARCHITECTS
11/25 JAMES STREET
ARMADALE VIC 3143

Project:

REGIS GREENMOUNT PROPOSED 48 BED EXTN REDEVELOPMENT

Address:
9 COONGAN AVE
GREENMOUNT WA 6056

Project No.:

1093

Status:

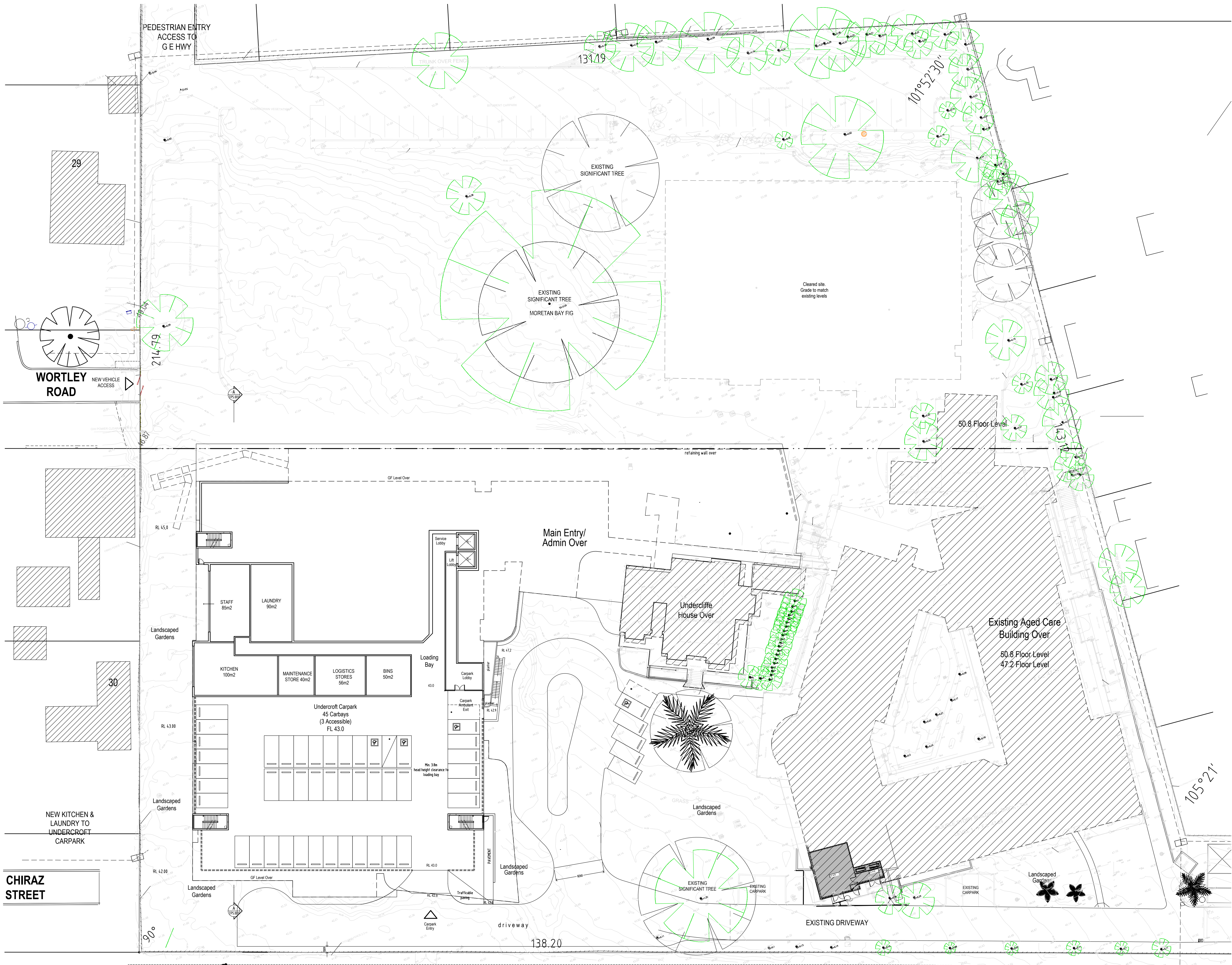
DA/ TOWN PLANNING

REV.	DESCRIPTION	DATE
TP0	DA/ TOWNPLANNING	16/6/2025

Layout:

UNDERCLIFFE HOUSE DEMOLITION & PROPOSED FLOOR PLANS

Drawing Scale: AS	Sheet Size: A1	Drawn By: AL/FX	Checked By: PL
Drawing No: TP1.201	Revision: TP0	1	



WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS BEFORE WORK STARTS. ALL WORK IS TO BE CARRIED OUT TO THE REQUIREMENTS AND SATISFACTION OF THE CURRENT BCA & NCC.

ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

ANY DOUBT AS TO THE MEANING OR INTENTION OF THE INFORMATION ON THIS DOCUMENT SHALL BE CLARIFIED WITH THE ARCHITECT / SUPERINTENDENT IMMEDIATELY.

COPYRIGHT
THIS DOCUMENT AND ANY PART THEREOF IS THE COPYRIGHT OF LW ARCHITECTS PTY LTD AND MAY NOT BE REPRODUCED, STORED IN ANY RETRIEVAL SYSTEM, TRANSMITTED OR SHARED WITHOUT THEIR WRITTEN CONSENT.

Notes:

Client:



Architect:



L. J. JAMES
ARCHITECT
ARADIGLE VIC 3243

Project:

**REGIS GREENMOUNT
PROPOSED 48 BED EXTN
REDEVELOPMENT**

Address:

9 COONGAN AVE
GREENMOUNT WA 6056

Project No.:

1093

Status:

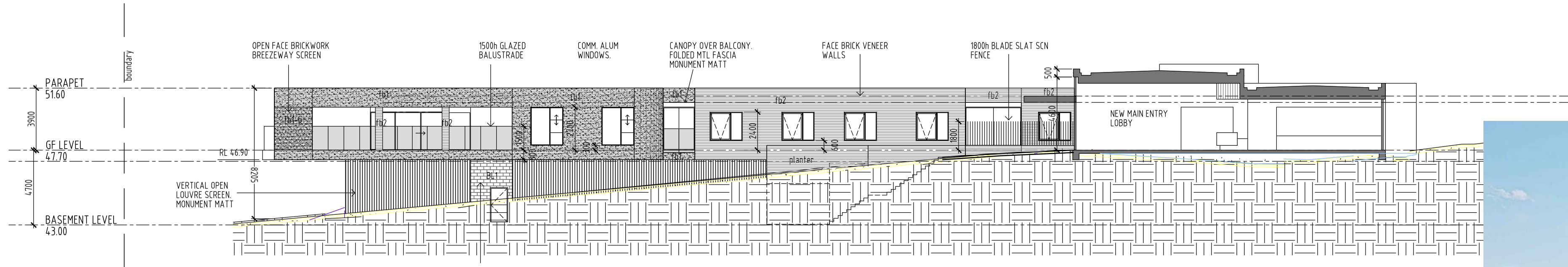
DA/ TOWN PLANNING

REV.	DESCRIPTION	DATE
TP0	DA/ TOWNPLANNING	16/6/2025

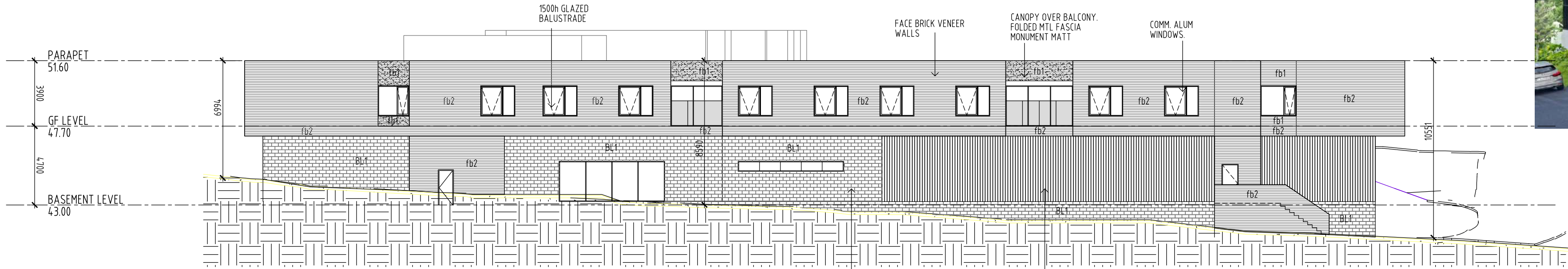
Layout:

**PROPOSED FLOOR PLAN
LOWER GROUND LEVEL
(UNDERCROFT)**

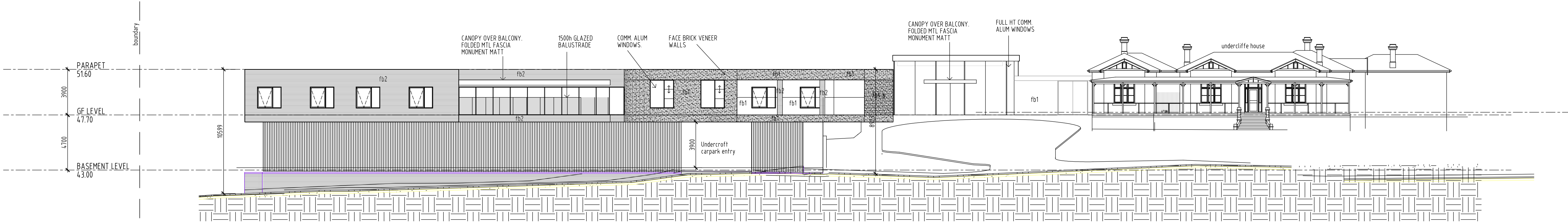
Drawing Scale: 1:300	Sheet Size: A1	Drawn By: AL/FX	Checked By: PL
Drawing No: TP2.101	Revision: TP0		



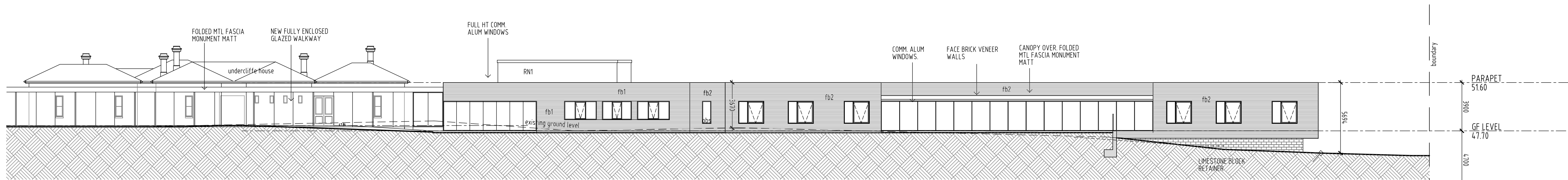
EAST ELEVATION
1.200



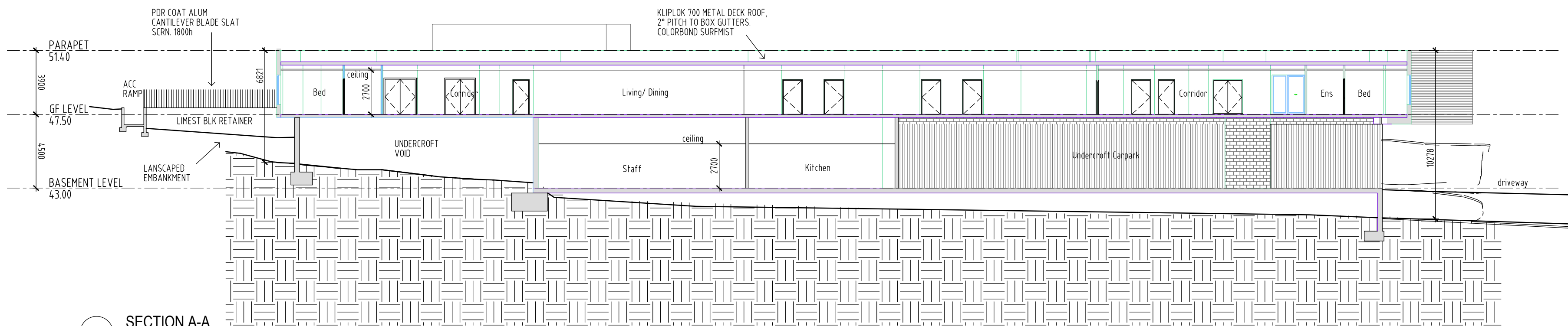
WEST ELEVATION
1.200



SOUTH ELEVATION
1.200



NORTH ELEVATION
1.200



SECTION A-A
1.200



Artists Impression

WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE TO SCALED DIMENSIONS. THE CONTRACTOR IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS BEFORE WORK STARTS. ALL WORK IS TO BE CARRIED OUT TO THE REQUIREMENTS AND SATISFACTION OF THE CURRENT BCA & NCC. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT / SUPERINTENDENT IMMEDIATELY. ANY DOUBT AS TO THE MEANING OR INTENTION OF THE INFORMATION ON THIS DOCUMENT SHALL BE CLARIFIED WITH THE ARCHITECT / SUPERINTENDENT IMMEDIATELY. COPYRIGHT: THIS DOCUMENT AND ANY PART THEREOF IS THE COPYRIGHT OF LW ARCHITECTS PTY LTD AND MAY NOT BE REPRODUCED, STORED IN ANY RETRIEVAL SYSTEM, TRANSMITTED OR SHARED WITHOUT THEIR WRITTEN CONSENT.

Notes:

Client:



Architect:



L. 25 JANES ST
ARMADALE VIC 3143

Project:

REGIS GREENMOUNT
PROPOSED 48 BED EXTN
REDEVELOPMENT

Address:

9 COONGAN AVE
GREENMOUNT WA 6056

Project No.:

1093

Status:

DA/ TOWN PLANNING

REV.	DESCRIPTION	DATE
TP0	DA/ TOWNPLANNING	16/6/2025

Layout:

ELEVATIONS & SECTIONS

Drawing Scale:	Sheet Size:	Drawn By:	Checked By:
a.s	A1	AL/FX	PL
Drawing No:	Revision:		
TP5.001	TP0		